

REVISED

AGENDA CITY OF THE COLONY PLANNING AND ZONING COMMISSION OCTOBER 27, 2015

After determining that a quorum is present, the Planning and Zoning Commission of the City of The Colony, Texas will convene into regular session which will be held on Tuesday, October 27, 2015 at 6:30 PM in the City Council Chambers located in City Hall, 6800 Main Street, The Colony, Texas, at which time the following items will be addressed:

1.0	CALL REGULAR SESSION TO ORDER
1.1	Citizen Input
2.0	CONSENT AGENDA
2.1	Consider approval of the minutes of the October 13, 2015 Regular Session.
2.2	<i>PP15-0006, Tribute West Addition Preliminary Plat</i> Consider approval of a Preliminary Plat of 406 residential lots and 21 common area lots being 121.889 acres out of the B.B.B. and C.R.R. Survey, Abstract No. 170, Thomas D. Luckett Survey, Abstract No. 751, Thomas D. Luckett Survey, Abstract No. 752, an addition to the City of The Colony, Denton County, Texas located at northwest corner of Boyd and Stratford Road in Planned Development 23 (PD-23) zoning district.
2.3	<i>FP15-0006 Service King Final Plat</i> Consider approval of a Final Plat for Lot 3, Block A, East Oak Wood Village Subdivision, being 2.450 acres out of the B.B.B. & C.R.R. Survey, Abstract No. 173, an addition to the City of The Colony, Denton County, Texas, located on Memorial Drive, west of Budget Suites, north of existing Firestone, in Business Park (BP) zoning district.
2.4	<i>FP15-0008 East Oak Wood Village Lots 1 and 4, Block A Final Plat</i> Consider approval of a Final Plat for Lots 1 and 4, Block A, East Oak Wood Village Subdivision, being 4.479 acres out of the B.B.B. & C.R.R. Survey, Abstract No. 173, an addition to the City of The Colony, Denton County, Texas, located on Memorial Drive, east of Top Golf, in Business Park (BP) zoning district.
3.0	PUBLIC HEARING ITEMS
3.1	<i>PDA15-0003, Amendment to Planned Development District No. 25</i> Conduct a public hearing, discuss and consider making a recommendation to City Council on a request for an amendment to Planned Development 25 (Ordinance No 2011-1927), adding to Section XIV Miscellaneous - Subsection O - Live Outdoor Music. (Continued from September 22, 2015)
4.0	DISCUSSION ITEMS
4.1	<i>SP15-0024 Lava Cantina Development Plan</i> Discuss and consider making a recommendation to City Council on a request for Development Plan for Lava Cantina, a 21,723 sf restaurant and entertainment venue, located on Lot 3, Block D, Grandscape Addition Phase II, near the northwest corner of Grandscape Boulevard and Destination Drive.
4.2	<i>SP15-0025 Advance Auto Parts Site Plan</i> Discuss and consider making a recommendation to City Council on a request for Site Plan for Advance Auto Parts, an automobile parts and accessory sales shop, located at 4901 Main Street, in General Retail (GR) zoning district.

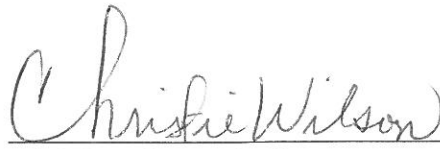
"Pursuant to the Texas Open Meetings Act, Government Code Chapter 551, one or more of the above items may be considered in executive session closed to the public. Any decision held on such matter will be taken or conducted in open session following the conclusion of the executive session".

Persons with disabilities who plan to attend this meeting who may need auxiliary aids such as interpreters for persons who are deaf or hearing impaired, readers or, large print are requested to contact Christie Wilson, City Secretary, at 972-624-3106 at least two (2) working days prior to the meeting so that appropriate arrangements can be made.

CERTIFICATION

I hereby certify that above notice of meeting was posted outside the front door of City Hall by 5:00 p.m. on the 23rd day of October 2015.




Christie Wilson, City Secretary

**MINUTES
CITY OF THE COLONY
PLANNING AND ZONING COMMISSION
OCTOBER 13, 2015**

After determining that a quorum was present, the Planning and Zoning Commission of the City of The Colony, Texas convened into Regular Session which was held on Tuesday, October 13, 2015 at 6:30 PM in the City Council Chambers located in City Hall, 6800 Main Street, The Colony, Texas, at which time the following items were addressed:

Board Members Present: Karen Hames, Chairman, Detrick DeBurr, Vice Chairman, Shawn Rockenbaugh, Brian Buffington, and Shannon Hebb.

Board Members Absent: Cesar Molina Jr. and Janece Pool

Staff Present: Mike Joyce, AICP, Planning Director, Gordon Scruggs, P.E., Director of Engineering and Development Services, Surupa Sen, AICP, Senior Planner, and Ed Voss, City Attorney.

1.0	CALL REGULAR SESSION TO ORDER
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Chairman Hames called the meeting to order at 6:30 p.m.

1.1	CITIZEN INPUT
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Mr. Scott Bynum from 6613 Stewart Blvd spoke about the traffic light on N Colony and Main Street, the west light which takes too long to change.

2.0	CONSENT AGENDA
2.1	Consider approval of the minutes of the September 22, 2015 Regular Session.
2.2	<i>RP15-0010 Replat of Lots 2R, 3R-X and 4, Block B, Grandscape Addition Ph II</i> Consider approval of a Replat of Lots 2R, 3R-X and 4, Block B, Grandscape Addition Ph II, being 4.129 acres out of Buffalo Bayou, Brazos & Colorado Railroad Company Survey, Abstract No. 173, an addition to the City of The Colony, Denton County, Texas, located on the southwest corner of Nebraska Furniture Mart and Bargain Way, in Planned Development 25 (PD-25) zoning district.
2.3	<i>RP15-0011 Replat of Lots 1R, 2 and 3-X, Block J, Grandscape Addition Ph II</i> Consider approval of a Replat of Lots 1R, 2 and 3-X, Block B, Grandscape Addition Ph II, being a replat of Lot1, Block J, Grandscape Addition, City of The Colony, Denton County, Texas, as recorded in County Clerk's Instrument Number 2015-240 official public records of Denton County, Texas, located on the southeast corner of Nebraska Furniture Mart and Bargain Way, in Planned Development 25 (PD-25) zoning district.
2.4	<i>FP15-0017 Lot 1 & 2, Block 1, Memorial/Patel Addition Final Plat</i> Consider approval of a Final Plat for Lot 1 & 2 Block 1, Memorial/Patel Addition, being 3.961 acres out of the B.B.B. & C.R.R. Survey, Abstract No. 173, an addition to the City of The Colony, Denton County, Texas, located on Memorial Drive, north of Assured Storage, in Business Park (BP) zoning district.
2.5	<i>RP15-0005 Replat of Lot 1R, Block A, Racetrac South Colony Addition</i> Consider approval of a Replat of Lot 1R, Block A, Racetrac, South Colony Addition, being a replat of a portion of Lot 1, Block a, Racetrac, South Colony Addition, an addition to the City of The Colony, Denton County, Texas, according to the plat recorded in Cabinet "T", Page 9, of plat records of Denton County Texas, located at 4901 Main Street, in General Retail (GR) zoning district.

Chairman Hames read the Consent Agenda item into the record. She also mentioned one addition to the minutes.

Commissioner Rockenbaugh asked if the mutual access easement line up with the Angelina's restaurant property and the Racetrac South Colony Addition plat, item number 2.5. Mr. Joyce answered affirmative.

Commissioner DeBurr moved to approve Item 2.1, 2.2, 2.3, 2.4 and 2.5 with the addition to the minutes, Commissioner Hebb seconded the motion. Motion carried (5-0).

3.0	PUBLIC HEARING ITEMS
3.1	<i>PDA15-0004 Planned Development 18, 23 Amendment – Tribute Development Standards</i> Conduct a public hearing, discuss and consider making a recommendation to City Council on a request for Planned Development 18 and 23 (Ordinance No 2013-2023) aka the Tribute and The Tribute West Planned Development amendment, updating the Exhibit B - Development Standards for new constructions within The Tribute and The Tribute West.

Chairman Hames read the public hearing item 3.1 into record.

Ms. Sen presented the staff report.

Commissioner Hebb asked if a traffic light is required at the main access roads on Lebanon.

Kathy Cunningham of Mathews Southwest responded that a traffic light is not warranted at this moment as per the traffic study. After the community develops it will be looked into through the traffic study again.

Chairman Hames opened and closed the public hearing at 6:45 p.m. with no one wishing to speak on the item.

Commissioner Hebb moved to approve Item 3.1 Commissioner Buffington seconded the motion. Motion carried (5-0).

4.0	DISCUSSION ITEMS
4.1	<i>SP15-0008, Overlake Addition Site Plan</i> Discuss and consider making a recommendation to the City Council on a request for site plan for Lot 1, Block A Overlake Addition, a 3.3838 acres of land located at the Northeast corner of Overlake Drive and Main Street.

Chairman Hames read the discussion item 4.1 into record.

Ms. Sen presented the staff report.

Commissioner Rockenbaugh asked if a deceleration lane will be required on Main Street.

Mr. Scruggs responded that right now a deceleration lane is not required, but based on the tenant type in future a traffic study will be warranted and decided at that time.

Commissioner Rockenbaugh also commented on the building on Lot 2 being too close or right on the property line.

Ms. Sen responded that Lot 2 is outside this site plan review and the metal building is a pre-existing non-conforming structure that does not meet the setback requirements.

Commissioner Hebb moved to approve Item 4.1 Commissioner Rockenbaugh seconded the motion. Motion carried (5-0).

4.2	<i>SP15-0015 MiCocina Development Plan</i> Discuss and consider making a recommendation to City Council on a request for Development Plan for MiCocina restaurant, a 7,626 sf single story building, located at the northeast corner of Nebraska Furniture Mart Drive and Bargain Way.
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Chairman Hames read the discussion item 4.2 into record.

Ms. Sen presented the staff report.

There being no question Chairman Hames called for a motion.

Commissioner Buffington moved to approve Item 4.2 Commissioner Hebb seconded the motion. Motion carried (5-0).

4.3	<i>SP15-0020 Grandscape Broadwalk Parking Development Plan</i> Discuss and consider making a recommendation to City Council on a request for Development Plan for Grandscape Broadwalk Parking, 576 parking spaces for associated retail/restaurant uses, surrounding Grandscape Broadwalk, located at the northwest corner of Grandscape Boulevard and Destination Drive.
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Chairman Hames read the discussion item 4.3 into record.

Ms. Sen presented the staff report.

Commissioner Hebb asked if there going to be a guardrail along the pond.

Ms. Sen responded affirmative

Commissioner Hebb also asked if within the pond itself will there be some kind of water feature.

Eric Seeley, Graham Associates, mentioned there will be some aeration feature in the pond.

Commissioner Rockenbaugh asked if this is just for the parking and in future as the sites develop along the pond site plans will be brought forward.

Ms. Sen answered affirmative.

There being no further question Chairman Hames called for a motion.

Commissioner Rockenbaugh moved to approve Item 4.3 Commissioner DeBurr seconded the motion. Motion carried (5-0).

4.4	<i>SP15-0021 Staybridge Suites Site Plan</i> Discuss and consider making a recommendation to City Council on a request for Site Plan for Staybridge Suites, a limited service hotel, located south of Memorial Drive, north of Assured Storage in the Business Park (BP) zoning district.
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Chairman Hames read the discussion item 4.4 into record.

Ms. Sen presented the staff report.

Commissioner Buffington asked if there going to be shared drives as there are three hotels being built along Memorial Drive.

Mr. Scruggs mentioned there will be two shared drives for these projects.

Commissioner Buffington also asked if there going to be any deceleration lane for the three hotels.

Mr. Scruggs answered that it was looked into but no deceleration lane was required.

Commissioner Buffington asked if there will be any wall separating the storage facility and the hotels.

Mr. Joyce answered affirmative.

Commissioner Hebb asked how many hotels are being built along Memorial Drive.

Mr. Joyce answered six hotels planned to be built along Memorial Drive.

There being no further question Chairman Hames called for a motion.

Commissioner Buffington moved to approve Item 4.4 Commissioner Hebb seconded the motion. Motion carried (5-0).

4.5	<i>SP15-0022 Best Western Premier Site Plan</i> Discuss and consider making a recommendation to City Council on a request for Site Plan for Best Western Premier, a limited service hotel, located south of Memorial Drive, north of Assured Storage in the Business Park (BP) zoning district.
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Chairman Hames read the discussion item 4.5 into record.

Ms. Sen presented the staff report.

Commissioner Hebb asked regarding cost per room and whether it meets the City's requirements.

Mr. Joyce answered that the rate study was done during the Specific Use Permit (SUP) approval for this hotel.

There being no further question Chairman Hames called for a motion.

Commissioner Hebb moved to approve Item 4.5 Commissioner Buffington seconded the motion. Motion carried (5-0).

4.6	<i>SP15-0023 Driveway Accessing Lewisville Site Development Plan</i> Discuss and consider making a recommendation to City Council on a request for Development Plan for driveway accessing City of Lewisville site, located at the southeast corner of Tittle Drive and Plano Parkway.
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Chairman Hames read the discussion item 4.6 into record.

Ms. Sen presented the staff report.

Commissioner Rockenbaugh asked if the proposed sidewalk will be as shown on the site plan.

Ms. Sen answered affirmative.

Commissioner Hebb asked if staff knew what development is going in Lewisville on this project.

Ms. Sen answered that the driveway is for a 7-Eleven store.

Mr. Tom Holland, Billingsley Company answered that two pad sites will have Jimmy Johns, and Taco Bell and the third pas site is still under negotiation.

There being no further questions Chairman Hames called for a motion.

Commissioner Rockenbaugh moved to approve Item 4.6 Commissioner Hebb seconded the motion. Motion carried (5-0).

There being no further business to come before the Commission, Chairman Hames adjourned the Regular Session of the Planning and Zoning Commission at 7: 12 p.m.

Karen Hames, Chairman

Surupa Sen, AICP, Senior Planner

PLANNING AND ZONING COMMISSION REPORT

AGENDA DATE: October 27, 2015

DEPARTMENT: Development Services Department

PLANNER: Surupa Sen, AICP, Senior Planner, 972-624-3164

SUBJECT: *PP15-0006, Tribute West Addition Preliminary Plat*

Consider approval of a Preliminary Plat of 406 residential lots and 21 common area lots being 121.889 acres out of the B.B.B. and C.R.R. Survey, Abstract No. 170, Thomas D. Luckett Survey, Abstract No. 751, Thomas D. Luckett Survey, Abstract No. 752, an addition to the City of The Colony, Denton County, Texas located at northwest corner of Boyd and Stratford Road in Planned Development 23 (PD-23) zoning district.

APPLICANT

Owner/Developer:	Tribute Partners LP	Lewisville, Texas
Engineer/Surveyor:	JBI Partners Inc.	Addison, Texas

EXISTING CONDITION OF PROPERTY

The subject property is currently undeveloped.

PROPOSED DEVELOPMENT

406 residential lots and 21 common area lots are proposed with lots varying from 48' x 120' to 76' x 135'. Common area lot sizes vary from 0.11 acres +/- to 16.67 acres +/- . There are six phases Phases 1, 2, 3A, 3B, 4A, and 4B.

ADJACENT ZONING

North - Planned Development District (PD-23) – Tribute
 South - Planned Development District (PD-23) – Tribute
 East- Planned Development District (PD-23) – Tribute
 West- Lake Lewisville

PLAT DETAILS

Following is lot size tabulation within different phases:

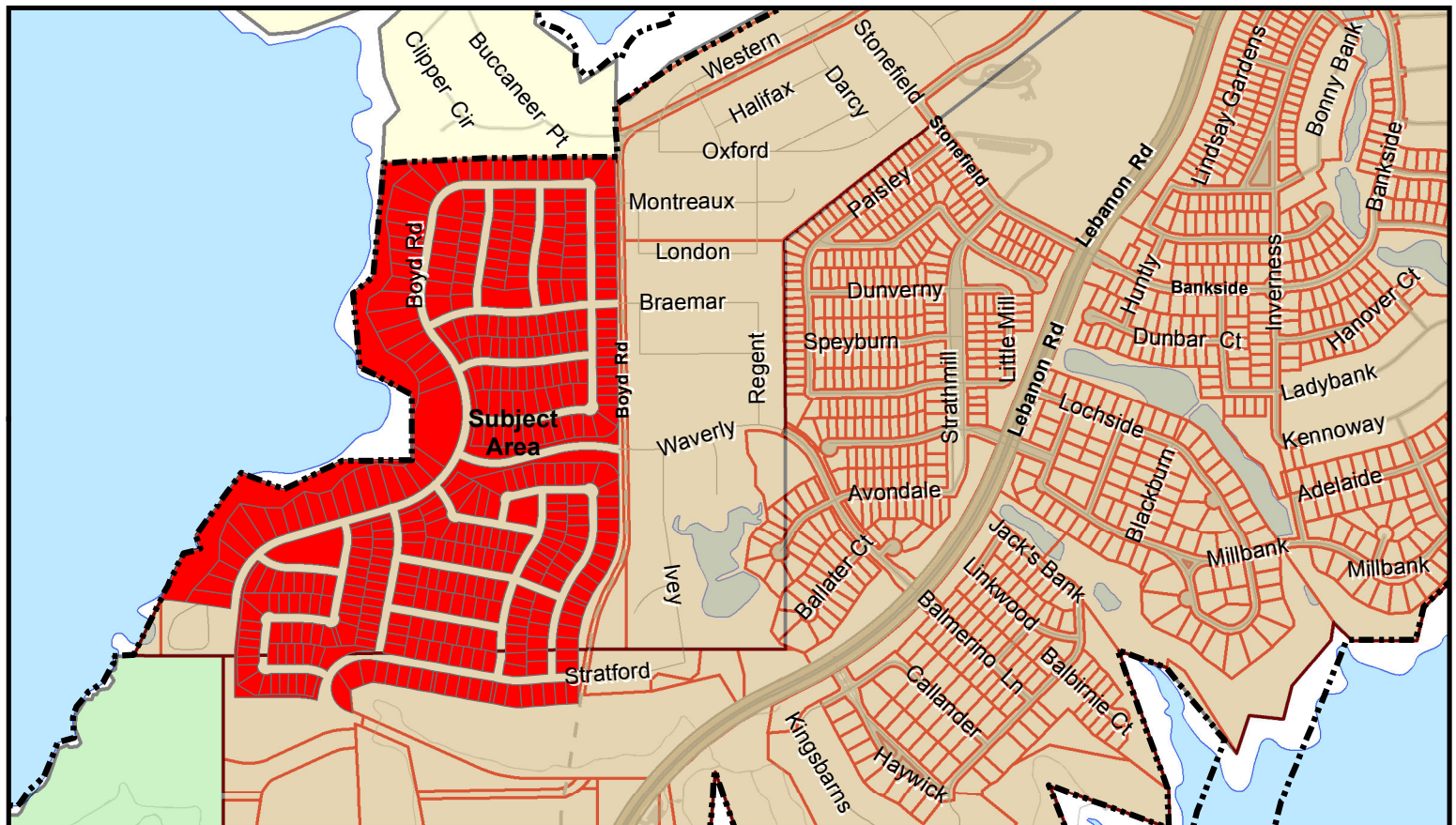
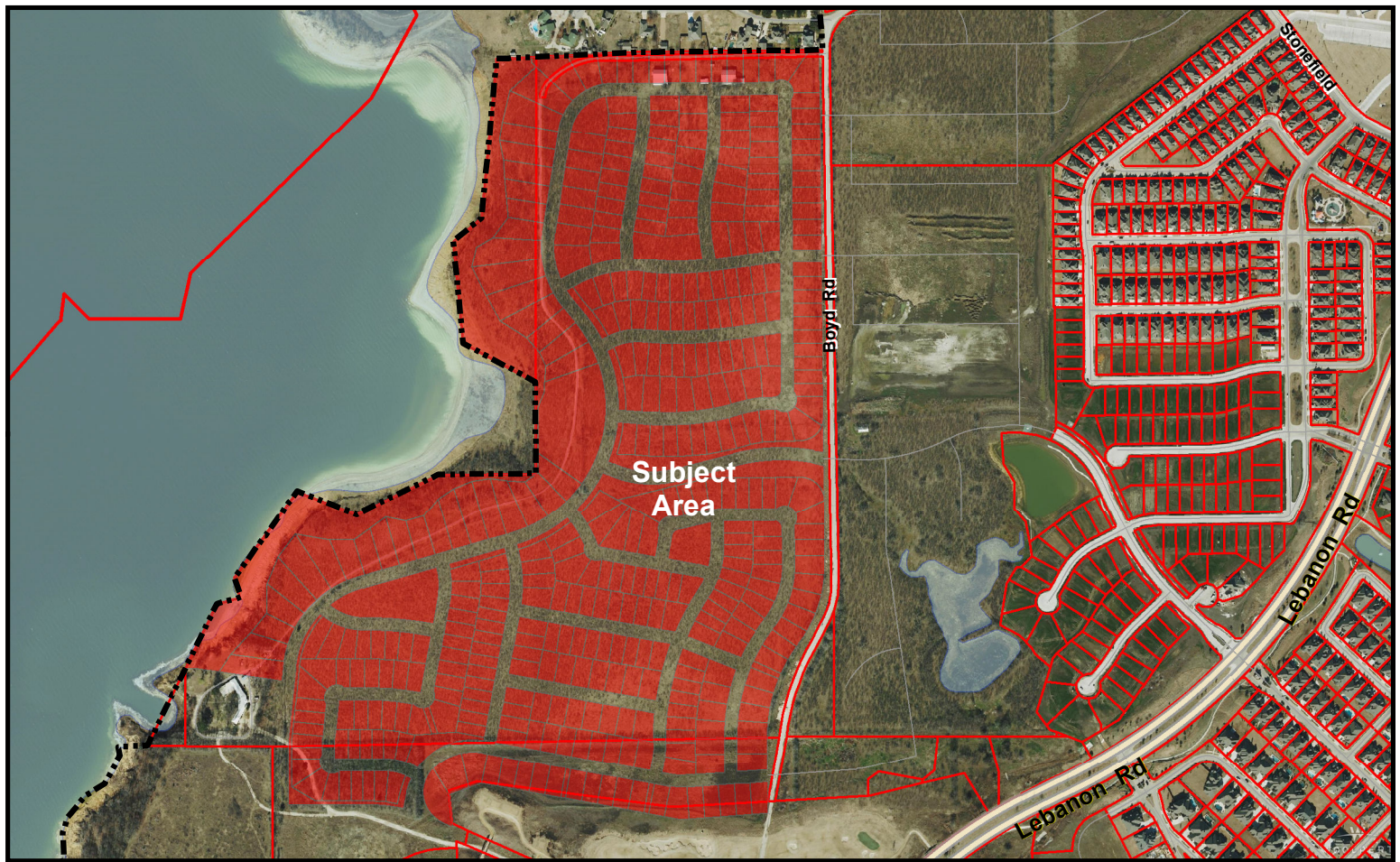
Tribute West Addition							
Lot Size	PH 1	PH 2	PH 3A	PH 3B	PH 4A	PH 4B	Total
48'x120'	27	31		27		20	105
55'x120'	38	26	21	18		32	135
65'x120'	28	28	31		34		121
76'x135'	5		20	4		16	45
Total Lots	98	85	72	49	34	68	406
HOA Common Areas	6.44 AC +/-	1.44 AC +/-	2.03 AC +/-	1.07 AC +/-	0.11 Ac +/-	5.58 Ac +/-	16.67 Ac +/-

RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the Preliminary Plat.

ATTACHMENTS

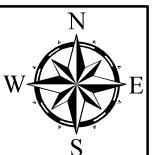
1. Location Map
2. Proposed Preliminary Plat

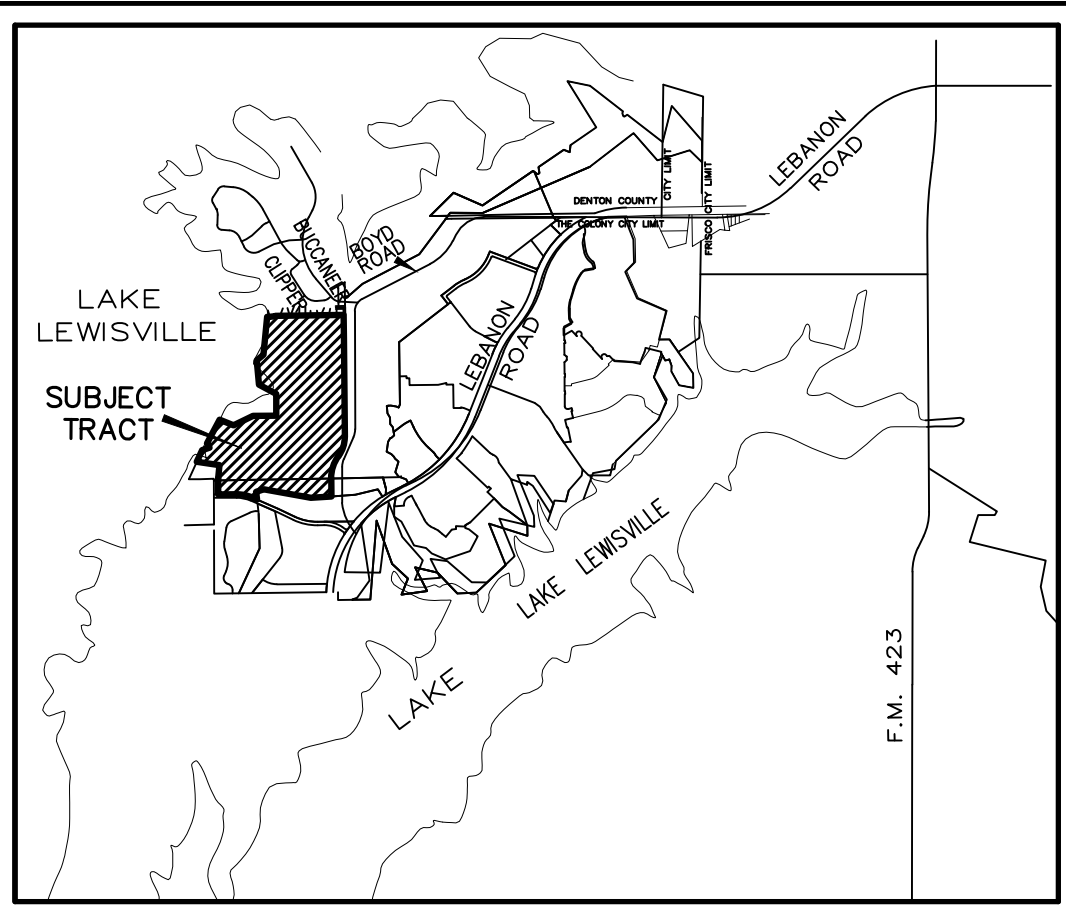
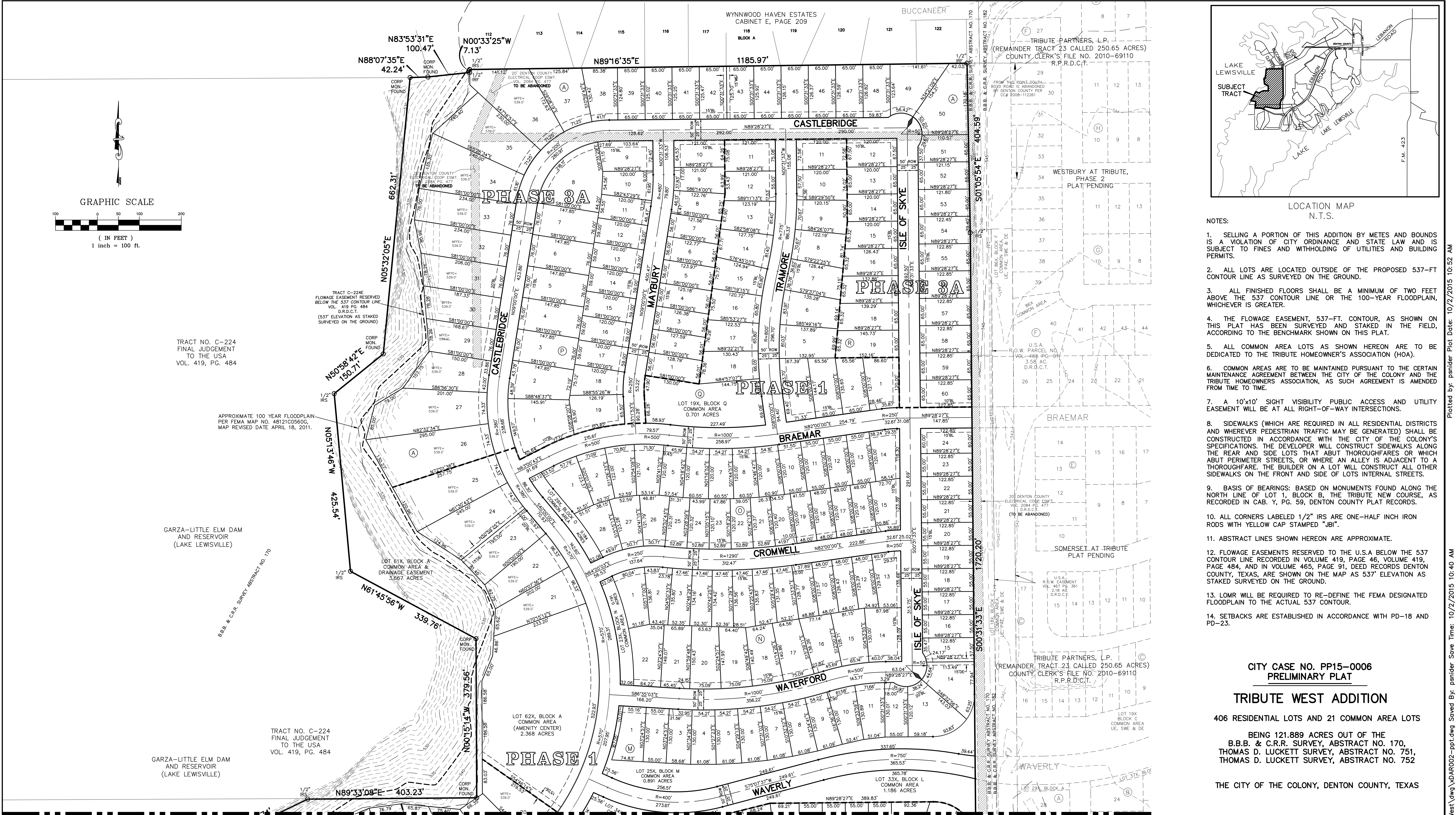


Project No. PP15-0006 - Project Name: Trinute West Preliminary Plat

■ Tribute West	■ Business Park/Industrial	■ Heavy Commercial	■ Mobile Home	■ Planned Development
■ Agricultural	■ Duplex Dwelling	■ Industrial	■ Neighborhood Service	■ Shopping Center
■ Business Park	■ General Retail	■ Light Commercial	■ Office District 1	■ Single Family Dwelling

This map was generated by GIS data provided by The Colony GIS Department. The City of The Colony does not guarantee the correctness or accuracy of any features on this map. These digital products are for illustration purposes only and are not suitable for site-specific decision making.





LOCATION MAP
N.T.S.

- NOTES:
1. SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
 2. ALL LOTS ARE LOCATED OUTSIDE OF THE PROPOSED 537'-FT. CONTOUR LINE AS SURVEYED ON THE GROUND.
 3. ALL FINISHED FLOORS SHALL BE A MINIMUM OF TWO FEET ABOVE THE 537' CONTOUR LINE OR THE 100-YEAR FLOODPLAIN, WHICHEVER IS GREATER.
 4. THE FLOWAGE EASEMENT, 537'-FT. CONTOUR, AS SHOWN ON THIS PLAT HAS BEEN SURVEYED AND STAKED IN THE FIELD, ACCORDING TO THE BENCHMARK SHOWN ON THIS PLAT.
 5. ALL COMMON AREA LOTS AS SHOWN HEREON ARE TO BE DEDICATED TO THE TRIBUTE HOMEOWNER'S ASSOCIATION (HOA).
 6. COMMON AREAS ARE TO BE MAINTAINED PURSUANT TO THE CERTAIN MAINTENANCE AGREEMENT BETWEEN THE CITY OF THE COLONY AND THE TRIBUTE HOMEOWNERS ASSOCIATION, AS SUCH AGREEMENT IS AMENDED FROM TIME TO TIME.
 7. A 10'x10' SIGHT VISIBILITY PUBLIC ACCESS AND UTILITY EASEMENT WILL BE AT ALL RIGHT-OF-WAY INTERSECTIONS.
 8. SIDEWALKS (WHICH ARE REQUIRED IN ALL RESIDENTIAL DISTRICTS AND WHEREVER PEDESTRIAN TRAFFIC MAY BE GENERATED) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF THE COLONY'S SPECIFICATIONS. THE DEVELOPER WILL CONSTRUCT SIDEWALKS ALONG THE REAR AND SIDE LOTS THAT ABUT THOROUGHFARES OR WHICH ABUT PERIMETER STREETS, OR WHERE AN ALLEY IS ADJACENT TO A THOROUGHFARE. THE BUILDER ON A LOT WILL CONSTRUCT ALL OTHER SIDEWALKS ON THE FRONT AND SIDE OF LOTS INTERNAL STREETS.
 9. BASIS OF BEARINGS: BASED ON MONUMENTS FOUND ALONG THE NORTH LINE OF LOT 1, BLOCK B, THE TRIBUTE NEW COURSE, AS RECORDED IN CAB. Y, PG. 59, DENTON COUNTY PLAT RECORDS.
 10. ALL CORNERS LABELED 1/2" IRS ARE ONE-HALF INCH IRON RODS WITH YELLOW CAP STAMPED "JBI".
 11. ABSTRACT LINES SHOWN HEREON ARE APPROXIMATE.
 12. FLOWAGE EASEMENTS RESERVED TO THE U.S.A. BELOW THE 537' CONTOUR LINE RECORDED IN VOLUME 419, PAGE 46, VOLUME 419, PAGE 484, AND IN VOLUME 465, PAGE 91, DEED RECORDS DENTON COUNTY, TEXAS, ARE SHOWN ON THE MAP AS 537' ELEVATION AS STAKED SURVEYED ON THE GROUND.
 13. LOWR WILL BE REQUIRED TO RE-DEFINE THE FEMA DESIGNATED FLOODPLAIN TO THE ACTUAL 537' CONTOUR.
 14. SETBACKS ARE ESTABLISHED IN ACCORDANCE WITH PD-18 AND PD-23.

CITY CASE NO. PP15-0006
PRELIMINARY PLAT

TRIBUTE WEST ADDITION

406 RESIDENTIAL LOTS AND 21 COMMON AREA LOTS

BEING 121.889 ACRES OUT OF THE
B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 170,
THOMAS D. LUCKETT SURVEY, ABSTRACT NO. 751,
THOMAS D. LUCKETT SURVEY, ABSTRACT NO. 752

THE CITY OF THE COLONY, DENTON COUNTY, TEXAS

TRIBUTE WEST ADDITION							
LOT SIZE	PH 1 33.39 AC+/-	PH 2 21.50 AC+/-	PH 3A 24.09 AC+/-	PH 3B 12.53 AC+/-	PH 4A 7.87 AC+/-	PH 4B 24.43 AC+/-	TOTAL
48' X 120'	27	31		27		20	105
55' X 120'	38	26	21	18		32	135
65' X 120'	28	28	31		34		121
76' X 135'	5		20	4		16	45
TOTAL LOTS	98	85	72	49	34	68	406
HOA COMMON AREAS	6.44 AC+/-	1.44 AC+/-	2.03 AC+/-	1.07 AC+/-	0.11 AC+/-	5.58 AC+/-	16.67 AC+/-

LOT COUNTS, ACREAGE, OPEN SPACE AND ANY OTHER TABULATIONS ARE
SUBJECT TO CHANGE AS A RESULT OF FURTHER ENGINEERING.

LEGEND

- POB POINT OF BEGINNING
CM CONTROL MONUMENT
IRS IRON ROD SET
IRF IRON ROD FOUND
ROW RIGHT-OF-WAY
UE UTILITY EASEMENT
DE DRAINAGE EASEMENT
WE WATER EASEMENT
SSE SANITARY SEWER EASEMENT
SSE SIDE WALK EASEMENT
SVP SIGHT VISIBILITY, PUBLIC ACCESS, & UTILITY EASEMENT
PWE PRIVATE WALL MAINTENANCE EASEMENT
MFE MINIMUM FINISH FLOOR ELEVATION
BL BUILDING LINE SETBACK
R RADIUS

Benchmarks:

- BM 1) "X" set on center of curb inlet located along the west curb line of Lebanon Road, approximately 100 feet north of the intersection of Lebanon Road and Bonnybank.
Elevation=550.85'
- BM 2) "X" set on center of curb inlet located along the east curb line of Lebanon Road, approximately 90 feet north of the intersection of Lebanon Road and Bankside.
Elevation=546.03'
- BM 3) "X" set on center of curb inlet located along the east curb line of Lebanon Road, approximately 1050 feet south of the intersection of Lebanon Road and Haywick.
Elevation=536.26'

FOR CONTINUATION SEE SHEET 2

TRIBUTE PARTNERS, L.P.

320 West Main Street
Lewisville, Texas 75057
Contact: Kristian Teleki, P.E.

OWNER

(972) 221-1199

JB PARTNERS, INC.

16301 Quorum Drive, Suite 200 B
Addison, Texas 75001
Contact: Jason Kaiser, P.E.
TBPE No. F-438 TBPLS No. 10076000

SURVEYOR/ENGINEER

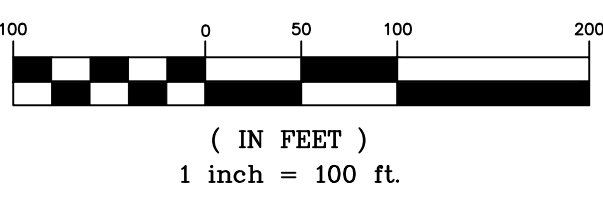
(972)248-7676

REVISED: OCTOBER 02, 2015
SUBMITTED: AUGUST 20, 2015

Sheet 1 of 3

FOR CONTINUATION SEE SHEET 1

GRAPHIC SCALE



GARZA-LITTLE ELM DAM
AND RESERVOIR
(LAKE LEWISVILLE)

TRACT NO. C-224
FINAL JUDGEMENT
TO THE USA
VOL. 419, PG. 484

PHASE 1

WAWERLY

LOCATION MAP
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5. ALL COMMON AREA LOTS AS SHOWN HEREON ARE TO BE DEDICATED TO THE TRIBUTE HOMEOWNERS' ASSOCIATION (HOA).
6. COMMON AREAS ARE TO BE MAINTAINED PURSUANT TO THE CERTAIN MAINTENANCE AGREEMENT BETWEEN THE CITY OF THE COLONY AND THE TRIBUTE HOMEOWNERS' ASSOCIATION, AS SUCH AGREEMENT IS AMENDED FROM TIME TO TIME.
7. A 10'x10' SIGHT VISIBILITY PUBLIC ACCESS AND UTILITY EASEMENT WILL BE AT ALL RIGHT-OF-WAY INTERSECTIONS.
8. SIDEWALKS (WHICH ARE REQUIRED IN ALL RESIDENTIAL DISTRICTS AND WHEREVER PEDESTRIAN TRAFFIC MAY BE GENERATED) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF THE COLONY'S SPECIFICATIONS. THE DEVELOPER WILL CONSTRUCT SIDEWALKS ALONG THE REAR AND SIDE LOTS THAT ABUT THOROUGHFARES OR WHICH ABUT PERIMETER STREETS, OR WHERE AN ALLEY IS ADJACENT TO A THOROUGHFARE. THE BUILDER ON A LOT WILL CONSTRUCT ALL OTHER SIDEWALKS ON THE FRONT AND SIDE OF LOTS INTERNAL STREETS.
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14. SETBACKS ARE ESTABLISHED IN ACCORDANCE WITH PD-18 AND PD-23.

CITY CASE NO. PP15-0006
PRELIMINARY PLAT

TRIBUTE WEST ADDITION

406 RESIDENTIAL LOTS AND 21 COMMON AREA LOTS

BEING 121.889 ACRES OUT OF THE
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THE CITY OF THE COLONY, DENTON COUNTY, TEXAS

LEGEND

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& UTILITY EASEMENT
PWME PRIVATE WALL MAINTENANCE EASEMENT
MFE MINIMUM FINISH FLOOR ELEVATION
BL BUILDING LINE SETBACK
R RADIUS

Benchmarks:

- BM 1) "X" set on center of curb inlet located along the west curb line of Lebanon Road, approximately 100 feet north of the intersection of Lebanon Road and Bonnybank.
Elevation=550.85'
- BM 2) "X" set on center of curb inlet located along the east curb line of Lebanon Road, approximately 90 feet north of the intersection of Lebanon Road and Bankside.
Elevation=546.03'
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Elevation=536.26'

TRIBUTE WEST ADDITION

LOT SIZE	PH 1 33.39 AC+/-	PH 2 21.50 AC+/-	PH 3A 24.09 AC+/-	PH 3B 12.53 AC+/-	PH 4A 7.87 AC+/-	PH 4B 24.43 AC+/-	TOTAL
48' X 120'	27	31		27		20	105
55' X 120'	38	26	21	18		32	135
65' X 120'	28	28	31		34		121
76' X 135'	5		20	4		16	45
TOTAL LOTS	98	85	72	49	34	68	406
HOA COMMON AREAS	6.44 AC+/-	1.44 AC+/-	2.03 AC+/-	1.07 AC+/-	0.11 AC+/-	5.58 AC+/-	16.67 AC+/-

LOT COUNTS, ACREAGE, OPEN SPACE AND ANY OTHER TABULATIONS ARE
SUBJECT TO CHANGE AS A RESULT OF FURTHER ENGINEERING.

TRIBUTE PARTNERS, L.P.

320 West Main Street
Lewisville, Texas 75057
Contact: Kristian Teleki, P.E.

OWNER

(972) 221-1199

JB PARTNERS, INC.

16301 Quorum Drive, Suite 200 B
Addison, Texas 75001
Contact: Jason Kaiser, P.E.
TBPE No. F-438 TBPLS No. 10076000

SURVEYOR/ENGINEER

(972)248-7676

REVISED: OCTOBER 02, 2015
SUBMITTED: AUGUST 20, 2015

Sheet 2 of 3

STATE OF TEXAS §

COUNTY OF DENTON §

WHEREAS, Tribute Partners, L.P. is the owner of a parcel of land located in the City of the Colony, Denton County, Texas, a part of the B.B.B. & C.R.R. Survey, Abstract 170, a part of the Thompson D. Luckett Survey, Abstract No. 751, a part of the Thompson D. Luckett Survey, Abstract No. 752, and being a part of Tract 23 called 250.65 acres as described in deed to Tribute Partners, L.P. as recorded in Document Number 2010-69110, Denton County Deed Records, and also being a part of Tract 21 called 23.486 acres as described in deed to Tribute Partners, L.P. as recorded in Document Number 2010-69114, Denton County Deed Records, and being further described as follows:

BEGINNING at a one-half inch iron rod found in the south line of said Tract 21, said point also being the northwest corner of Lot 1, Block B, The Tribute New Course, an addition to the City of The Colony as recorded in Cabinet Y, Page 59, Denton County Plat Records;

THENCE South 06 degrees 33 minutes 37 seconds East, 135.58 feet to a one-half inch iron rod found at the southwest corner of said Lot 1, Block B;

THENCE North 66 degrees 33 minutes 04 seconds West, 89.07 feet to a one-half inch iron rod set for corner;

THENCE Northwesterly, 279.19 feet along a curve to the left having a central angle of 23 degrees 31 minutes 26 seconds, a radius of 680.00 feet, a tangent of 141.59 feet, and whose chord bears North 78 degrees 18 minutes 47 seconds West, 277.23 feet to a one-half inch iron rod set for corner;

THENCE South 89 degrees 55 minutes 30 seconds West, 322.38 feet to a one-half inch iron rod set for corner;

THENCE North 00 degrees 18 minutes 25 seconds West, 257.41 feet to a one-half inch iron rod set for corner;

THENCE Northeasterly, 21.29 feet along a curve to the right having a central angle of 06 degrees 05 minutes 59 seconds, a radius of 200.00 feet, a tangent of 10.66 feet, and whose chord bears North 02 degrees 44 minutes 34 seconds East, 21.28 feet to a one-half inch iron rod set for corner;

THENCE North 05 degrees 47 minutes 34 seconds East, 229.40 feet to a one-half inch iron rod set for corner;

THENCE North 81 degrees 35 minutes 41 seconds West, 398.68 feet to a one-half inch iron rod set for corner, said point being in the west line of said Tract 23, said point also being in the east line of Garza-Little Elm Dam and Reservoir (Lake Lewisville);

THENCE along the west line of said Tract 23 and along the east line of said Garza-Little Elm Dam and Reservoir (Lake Lewisville) as follows:

North 24 degrees 36 minutes 59 seconds East, 224.14 feet to a point for corner;
North 71 degrees 45 minutes 30 seconds East, 134.59 feet to a one-half inch iron rod set for corner;
North 30 degrees 50 minutes 28 seconds West, 86.29 feet to a point for corner;
North 27 degrees 57 minutes 07 seconds East, 466.04 feet to a point for corner;
South 68 degrees 13 minutes 00 seconds East, 263.30 feet to a Corp of Engineer monument found for corner;
North 64 degrees 05 minutes 52 seconds East, 376.74 feet to a one-half inch iron rod set for corner;
North 89 degrees 33 minutes 08 seconds East, 403.23 feet to a Corp of Engineer monument found for corner;
North 00 degrees 15 minutes 14 seconds West, 379.56 feet to a Corp of Engineer monument found for corner;
North 61 degrees 45 minutes 56 seconds West, 339.76 feet to a one-half inch iron rod set for corner;
North 05 degrees 13 minutes 46 seconds West, 425.54 feet to a one-half inch iron rod set for corner;
North 50 degrees 58 minutes 42 seconds East, 150.71 feet to a Corp of Engineer monument found for corner;
North 05 degrees 32 minutes 05 seconds East, 662.31 feet to a Corp of Engineer monument found for corner;
North 88 degrees 07 minutes 35 seconds East, 42.24 feet to a Corp of Engineer monument found at the southwest corner of Wynnwood Haven Estates, an addition to the County of Denton as recorded in Cabinet E, Page 209, Denton County Map Records;

THENCE along the south line of said Wynnwood Haven Estates as follows:

North 83 degrees 53 minutes 31 seconds East, 100.47 feet to a one-half inch iron rod found for corner;
North 00 degrees 33 minutes 25 seconds West, 7.13 feet to a one-half inch iron rod set for corner;
North 89 degrees 16 minutes 35 seconds East, 1185.97 feet to a one-half inch iron rod found for corner, said point being in the southeast corner of Lot 122, Block A, of said Wynnwood Haven Estates;

THENCE South 01 degrees 05 minutes 54 seconds East, 404.59 feet to a one-half inch iron rod set for corner, said point being the northwest corner of that perpetual easement reserved to the United States of America as described as Right-of-Way Parcel No. 1, as recorded in Volume 465, Page 91, Deed Records Denton County;

THENCE along said west line of said Right-of-Way Parcel No. 1 and the west line of Right-of-way Parcel No. 2 as recorded in said Volume 465, Page 91 as follows:

South 00 degrees 31 minutes 33 seconds East, 1720.20 feet to a one-half inch iron rod set for corner;
Southwesterly, 352.65 feet along a curve to the right having a central angle of 37 degrees 40 minutes 10 seconds, a radius of 536.38 feet, a tangent of 182.96 feet, and whose chord bears South 18 degrees 18 minutes 27 seconds West, 346.33 feet to a one-half inch iron rod set for corner;
Southwesterly, 418.34 feet along a curve to the left having a central angle of 37 degrees 39 minutes 54 seconds, a radius of 636.38 feet, a tangent of 217.04 feet, and whose chord bears South 18 degrees 18 minutes 27 seconds West, 410.85 feet to a one-half inch iron rod set for corner;
South 00 degrees 30 minutes 54 seconds East, 311.67 feet to a one-half inch iron rod set for corner, said point being in the north line of said Lot 1, Block B;

THENCE along the north line of said Lot 1, Block B as follows:

South 86 degrees 02 minutes 12 seconds West, 357.21 feet to a one-half inch iron rod found for corner;
North 79 degrees 39 minutes 46 seconds West, 832.07 feet to a one-half inch iron rod found for corner;
South 71 degrees 15 minutes 21 seconds West, 140.42 feet to the POINT OF BEGINNING and containing 5,309,483 square feet or 121.889 acres of land.

DEDICATION STATEMENT

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT TRIBUTE PARTNERS, L.P., THROUGH THE UNDER SIGNED AUTHORITY, DOES HEREBY ADOPT THIS PLAT DESIGNATION THE HEREIN ABOVE DESCRIBED PROPERTY AS **TRIBUTE WEST ADDITION**, AN ADDITION TO THE CITY OF THE COLONY, TEXAS, AND DOES HEREBY DEDICATE IN FEE SIMPLE TO THE PUBLIC USE FOREVER THE STREETS AND ALLEYS SHOWN HEREON; AND DOES HEREBY DEDICATE THE EASEMENTS SHOWN ON THE FINAL PLAT FOR MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE, OR USING SAME, SAID DEDICATIONS BEING FREE AND CLEAR OF ALL LIENS AND ENCUMBRANCES, EXCEPT AS SHOWN HEREIN. TRIBUTE PARTNERS, L.P., DOES HEREBY BIND ITSELF, ITS SUCCESSORS AND ASSIGNS TO FOREVER WARRANT AND DEFEND ALL AND SINGULAR THE ABOVE DESCRIBED STREETS, ALLEYS, EASEMENTS AND RIGHTS UNTO THE PUBLIC AGAINST EVERY PERSON WHOMSOEVER LAWFULLY CLAIMING OR TO CLAIM THE SAME OR ANY PART THEREOF, NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS ON SAID FINAL PLAT. ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF ITS RESPECTIVE SYSTEM ON ANY OF THESE EASEMENTS, AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS AND EGRESS TO AND FROM AND UPON ANY OF SAID EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, AND ADDING TO OR REMOVING ALL OR PART OF ITS RESPECTIVE SYSTEM WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE.

EXECUTED this ____day of _____ 2015.

TP TRIBUTE PARTNERS, L.P., a Texas limited partnership, its general partner

By: MSW Wynnwood Holdings, Ltd., a Texas limited partnership, its general partner

By: MSW Wynnwood Holdings GP, LLC, a Texas limited liability company, its general partner

By: _____
Name: Kristian T. Teleki
Title: Senior Vice President

NOTARY CERTIFICATE

STATE OF TEXAS §

COUNTY OF DENTON §

Before me, the undersigned authority, a Notary Public in and for the said County and State on this day personally appeared Kristian T. Teleki, Sr. Vice President of MSW Wynnwood Holdings GP, LLC, a Texas limited liability company on behalf of MSW Wynnwood Holdings, Ltd., a Texas limited partnership on behalf Tribute Partners, LP, a Texas limited partnership, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

Given under my hand and seal of office, this _____ day of _____, 2015.

Notary Signature

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

THAT I, MARK W. HARP, do hereby certify that I prepared this plat from an actual survey of the land and that the corner monuments shown hereon were properly placed under my personal supervision in accordance with the Plotting Rules and Regulations of the City of The Colony, Denton County, Texas.

PRELIMINARY, THIS DOCUMENT IS NOT TO BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT
MARK W. HARP, R.P.L.S. No. 6425

STATE OF TEXAS §

COUNTY OF DALLAS §

BEFORE ME, the undersigned authority in and for the State of Texas, on this day personally appeared MARK W. HARP, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity therein stated.

WITNESS MY HAND at _____, Texas, this _____ day of _____, 2015.

Notary Public in and for the State of Texas.

CITY SIGNATURE BLOCK

"On the _____ day of _____, 2015, this plat was duly approved by the Planning and Zoning Commission of the City of The Colony.

Signed, _____
Chairman of the Planning and Zoning Commission

Attest: _____
City Secretary

TRIBUTE WEST ADDITION

North: 7086652.8715 East : 2464113.8628
Line Course: S 86-02-12 W Length: 357.21
North: 7086628.1818 East : 2463757.5071
Line Course: N 79-39-46 W Length: 832.07
North: 7086777.4896 East : 2462938.9427
Line Course: S 71-15-21 W Length: 140.42
North: 7086732.3666 East : 2462805.9702
Line Course: S 06-33-37 E Length: 135.58
North: 7086597.6743 East : 2462821.4600
Line Course: N 66-33-04 W Length: 89.07
North: 7086633.1180 East : 2462739.7458
Curve Length: 279.19 Radius: 680.00
Delta: 23-31-26 Tangent: 141.59
Chord: 277.23 Course: N 78-18-47 W
Course In: S 23-26-56 W Course Out: N 00-04-30 W
RP North: 7086609.2756 East : 2462469.1528
End North: 7086689.2750 East : 2462468.2627
Line Course: S 89-55-30 W Length: 322.38
North: 7086688.8530 East : 2462145.8829
Line Course: N 00-18-25 W Length: 257.41
North: 7086946.2593 East : 2462144.5040
Curve Length: 11.98 Radius: 200.00
Delta: 3-25-53 Tangent: 5.99
Chord: 11.98 Course: N 01-24-31 E
Course In: N 89-41-35 E Course Out: N 86-52-32 W
RP North: 7086947.3307 East : 2462344.5011
End North: 7086958.2317 East : 2462144.7984
Curve Length: 9.31 Radius: 200.00
Delta: 2-40-06 Tangent: 4.66
Chord: 9.31 Course: N 04-27-31 E
Course In: S 86-52-32 E Course Out: N 84-12-26 W
RP North: 7086947.3307 East : 2462344.5011
End North: 7086967.5169 East : 2462145.5224
Line Course: N 05-47-34 E Length: 229.40
North: 7087195.7455 East : 2462168.6760
Line Course: N 81-35-41 W Length: 398.68
North: 7087254.0222 East : 2461774.2782
Line Course: N 24-36-59 E Length: 224.14
North: 7087457.7916 East : 2461867.6417
Line Course: N 71-45-30 E Length: 134.59
North: 7087499.9218 East : 2461995.4678
Line Course: N 30-50-28 W Length: 86.29
North: 7087574.0087 East : 2461951.2305
Line Course: N 27-57-07 E Length: 466.04
North: 7087985.6820 East : 2462169.6778
Line Course: S 68-13-00 E Length: 263.30
North: 7087887.9719 East : 2462414.1765
Line Course: N 64-05-52 E Length: 376.74
North: 7088052.5458 East : 2462753.0696
Line Course: N 89-33-08 E Length: 403.23
North: 7088055.6971 East : 2463156.2872
Line Course: N 00-15-14 W Length: 379.56
North: 7088435.2533 East : 2463154.6053
Line Course: N 61-45-56 W Length: 339.76
North: 7088595.9872 East : 2462855.2703
Line Course: N 05-13-46 W Length: 425.54
North: 7089019.7559 East : 2462816.4847
Line Course: N 50-58-42 E Length: 150.71
North: 7089114.6451 East : 2462933.5725
Line Course: N 05-32-05 E Length: 662.31
North: 7089773.8674 East : 2462997.4516
Line Course: N 88-07-35 E Length: 42.24
North: 7089775.2484 East : 2463039.6690
Line Course: N 83-53-31 E Length: 100.47
North: 7089785.9388 East : 2463139.5686
Line Course: N 00-33-25 W Length: 7.13
North: 7089793.0685 East : 2463139.4993
Line Course: N 89-16-35 E Length: 1185.97
North: 7089808.0461 East : 2464325.3748
Line Course: S 01-05-54 E Length: 404.59
North: 7089403.5305 East : 2464333.1301
Line Course: S 00-31-33 E Length: 1720.20
North: 7087683.4029 East : 2464348.9170
Curve Length: 352.65 Radius: 536.38
Delta: 37-40-10 Tangent: 182.96
Chord: 346.33 Course: S 18-18-27 W
Course In: S 89-28-22 W Course Out: S 52-51-28 E
RP North: 7087678.4673 East : 2463812.5597
End North: 7087354.6035 East : 2464240.1293
Curve Length: 418.34 Radius: 636.38
Delta: 37-39-54 Tangent: 217.04
Chord: 410.85 Course: S 18-18-27 W
Course In: S 52-51-36 E Course Out: S 89-28-30 W
RP North: 7086970.3797 East : 2464747.4276
End North: 7086964.5487 East : 2464111.0743
Line Course: S 00-30-54 E Length: 311.67
North: 7086652.8913 East : 2464113.8757

Perimeter: 11518.18 Area: 5,309,483 sq.ft. 121.889 acres

Mapcheck Closure - (Uses listed courses, radii, and deltas)
Error Closure: 0.0236 Course: N 33-09-18 E
Error North: 0.01978 East : 0.01292
Precision 1: 488,058.05

CITY CASE NO. PP15-0006
PRELIMINARY PLAT

TRIBUTE WEST ADDITION

406 RESIDENTIAL LOTS AND 21 COMMON AREA LOTS

BEING 121.889 ACRES OUT OF THE
B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 170,
THOMAS D. LUCKETT SURVEY, ABSTRACT NO. 751,
THOMAS D. LUCKETT SURVEY, ABSTRACT NO. 752

THE CITY OF THE COLONY, DENTON COUNTY, TEXAS

TRIBUTE PARTNERS, L.P.

OWNER

320 West Main Street
Lewisville, Texas 75057
Contact: Kristian Teleki, P.E.

(972) 221-1199

JB PARTNERS, INC.

SURVEYOR/ENGINEER

16301 Quorum Drive, Suite 200 B
Addison, Texas 75001
Contact: Jason Kaiser, P.E.
TBPE No. F-438 TBPLS No. 10076000

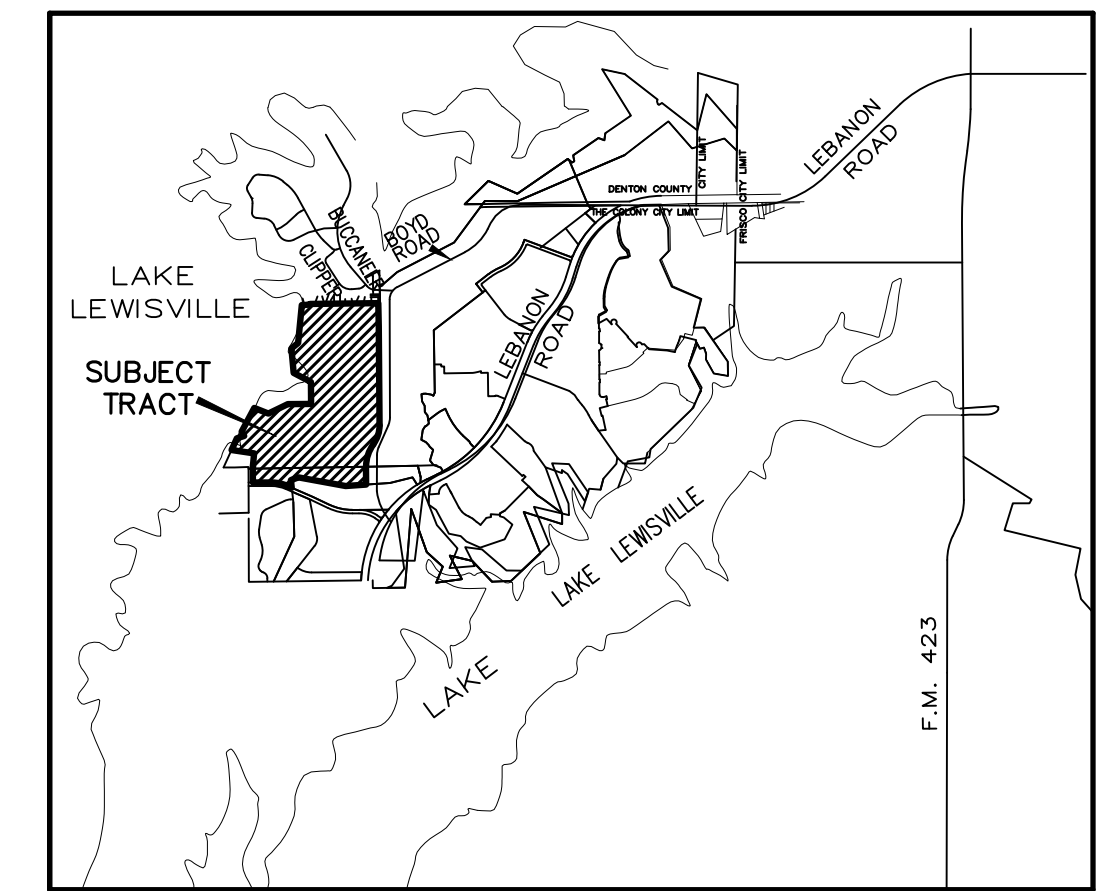
(972) 248-7676

REVISED: OCTOBER 02, 2015
SUBMITTED: AUGUST 20, 2015

Sheet 3 of 3

Plotted by: psnlidr Plot Date: 10/2/2015 10:51 AM

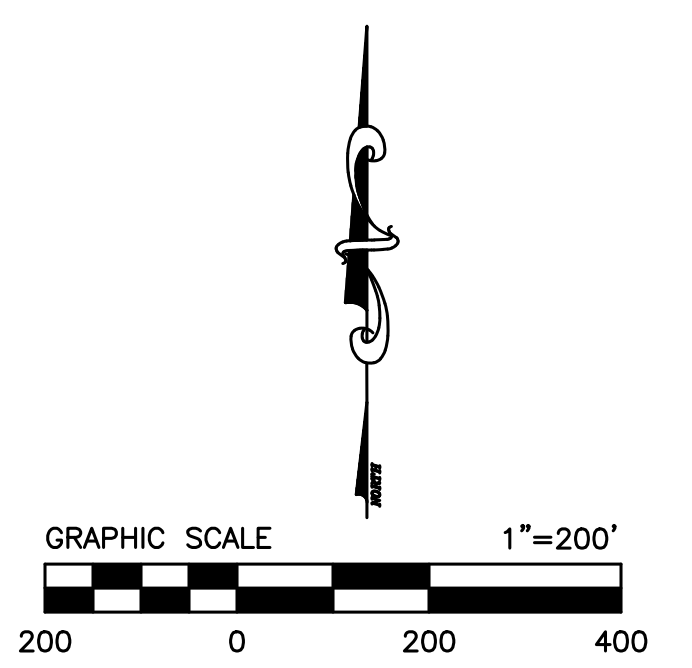
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LOCATION MAP
N.T.S.

LEGEND

- XX DRAINAGE AREA IDENTIFICATION
- XXX.XX DRAINAGE AREA (ACRES)
- XXX.X PROPOSED RUNOFF FROM 100 YR STORM (CFS)
- PHASE LINE
- PROPOSED DRAINAGE DIVIDE
- ← PROPOSED FLOW DIRECTION

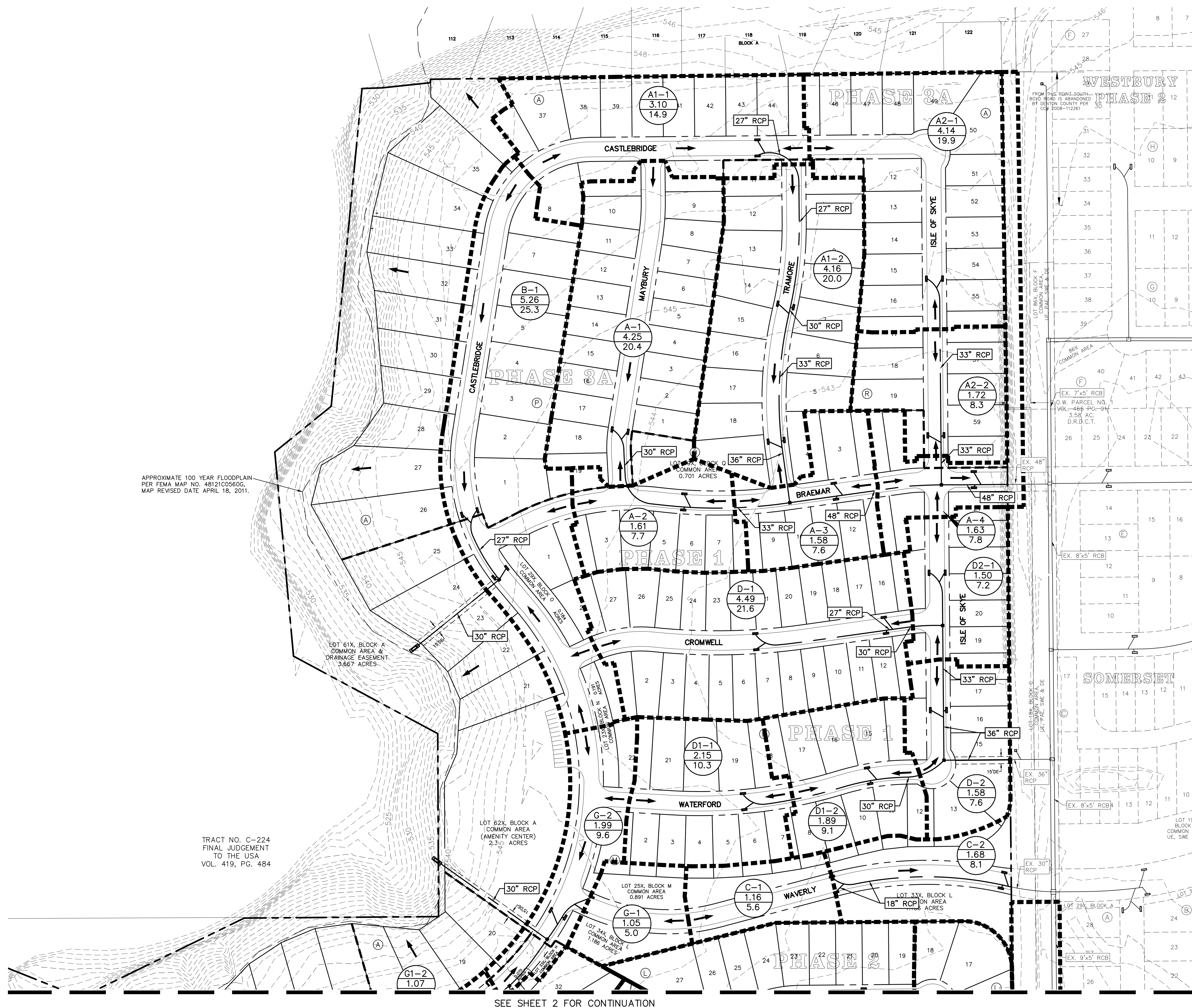


OVERALL
PRELIMINARY
DRAINAGE PLAN
TRIBUTE WEST

406 RESIDENTIAL LOTS AND 20 COMMON AREA LOTS
BEING 121.889 ACRES OUT OF THE
B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 170,
THOMAS D. LUCKETT SURVEY, ABSTRACT NO. 751,
THOMAS D. LUCKETT SURVEY, ABSTRACT NO. 752
THE CITY OF THE COLONY, DENTON COUNTY, TEXAS

TRIBUTE PARTNERS, L.P.	OWNER
320 W Main Sreet Lewisville, Texas 75057 Contact: Kristian Teleki	(972)221-1199
JBI PARTNERS, INC.	SURVEYOR/ENGINEER
16301 Quorum Drive, Suite 200 B Addison, Texas 75001 Contact: Jason Kaiser, P.E. TBPE No. F-438 TBPLS No. 10076000	(972)248-7676

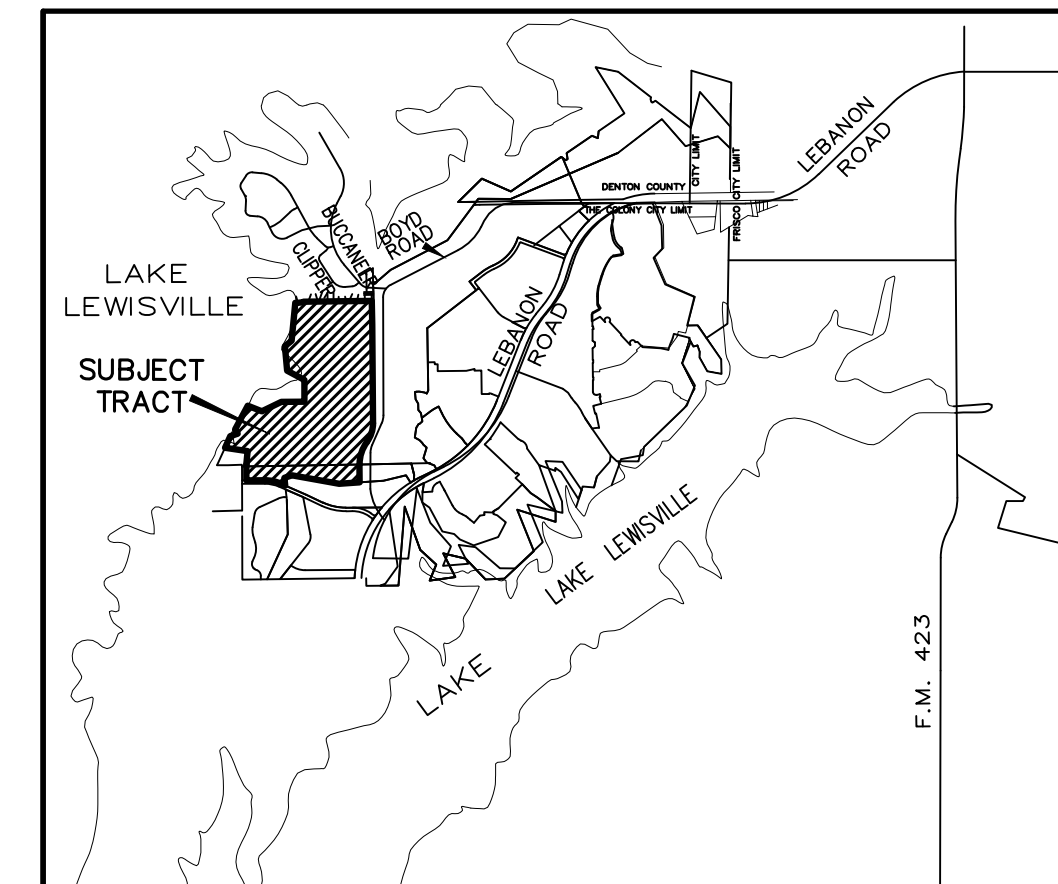
REVISED: OCTOBER 2, 2015
SUBMITTED: AUGUST 20, 2015



APPROXIMATE 100 YEAR FLOODPLAIN
PER FEMA MAP NO. 48121C0560G,
MAP REVISED DATE APRIL 18, 2011.

TRACT NO. C-224
FINAL JUDGEMENT
TO THE USA
VOL. 419, PG. 484

SEE SHEET 2 FOR CONTINUATION



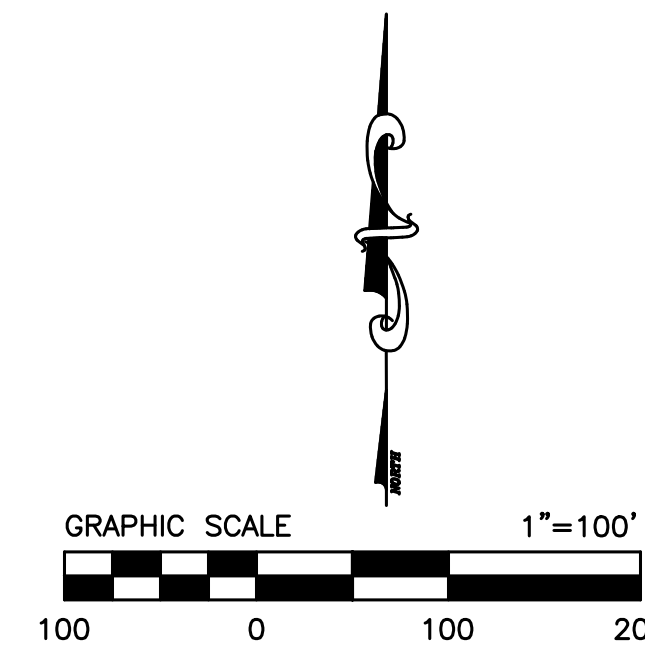
LOCATION MAP
N.T.S.

LEGEND

- DRAINAGE AREA IDENTIFICATION
- DRAINAGE AREA (ACRES)
- PROPOSED RUNOFF FROM 100 YR STORM (CFS)
- PROPOSED STORM DRAIN AND CURB INLET
- SUBDIVISION PHASE LINE
- PROPOSED DRAINAGE DIVIDE
- PROPOSED FLOW DIRECTION

NOTES:
ALL RCP IS 24" UNLESS OTHERWISE NOTED

ALL IMPROVEMENTS ASSOCIATED WITH SOMERSET AND TULLAMORE MEADOWS PHASE 2 MUST BE BUILT CONCURRENTLY OR BE IN PLACE PRIOR TO CONSTRUCTION OF TRIBUTE WEST



PRELIMINARY
DRAINAGE PLAN

TRIBUTE WEST II

406 RESIDENTIAL LOTS AND 20 COMMON AREA LOTS

BEING 121.889 ACRES OUT OF THE
B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 170,
THOMAS D. LUCKETT SURVEY, ABSTRACT NO. 751,
THOMAS D. LUCKETT SURVEY, ABSTRACT NO. 752

THE CITY OF THE COLONY, DENTON COUNTY, TEXAS

TRIBUTE PARTNERS, L.P. **OWNER**
1660 S. Stemmons Freeway, Suite 100 (972)221-1199
Addison, Texas 75067
Contact: Kristian Teleki

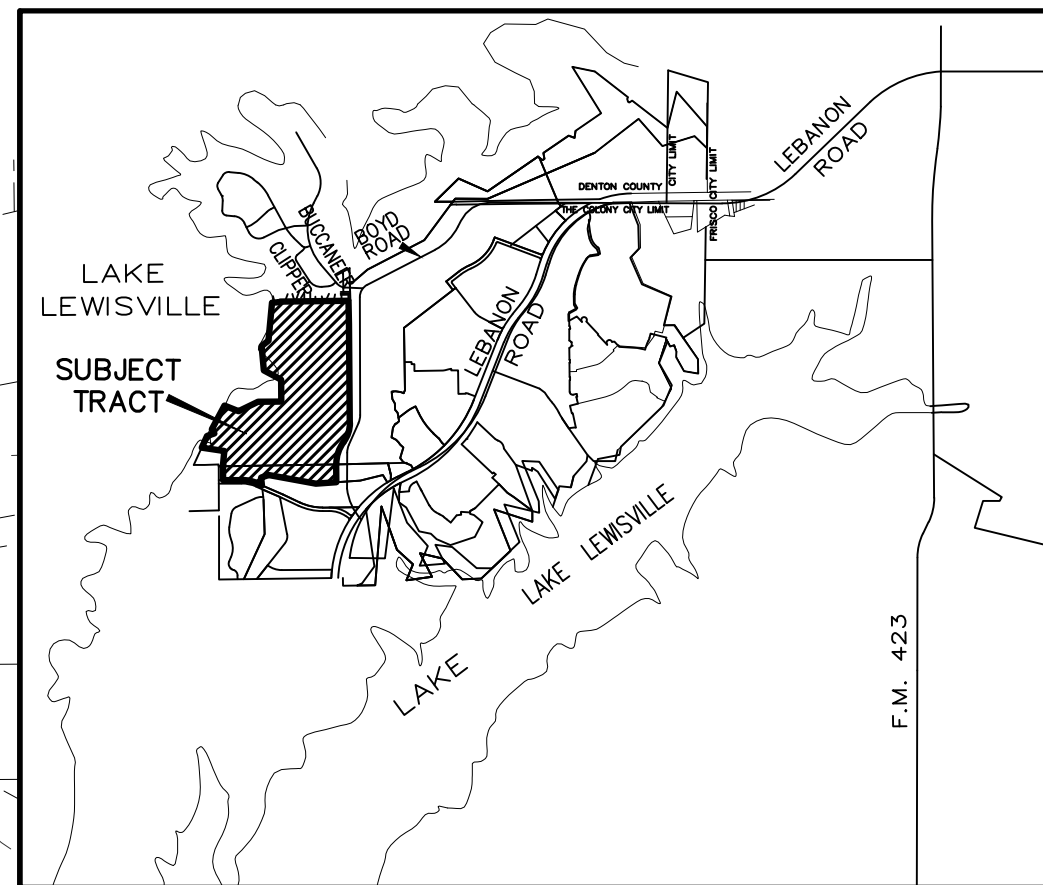
JBI PARTNERS, INC. **SURVEYOR/ENGINEER**
16301 Quorum Drive, Suite 200 B (972)248-7676
Addison, Texas 75001
Contact: Jason Kaiser, P.E.
TBPE No. F-438 TBPLS No. 10076000

REVISED: OCTOBER 2, 2015
SUBMITTED: AUGUST 20, 2015

SEE SHEET 1 FOR CONTINUATION

TRACT NO. C-224
FINAL JUDGEMENT
TO THE USA
VOL. 419, PG. 484

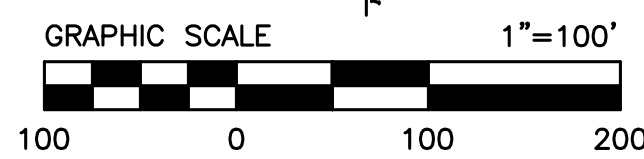
MATE 100 YEAR FLOODPLAIN
A MAP NO. 48121C0560G
/SED DATE APRIL 15, 2011



LOCATION MAP
N.T.S.

LEGEND

- DRAINAGE AREA IDENTIFICATION
- DRAINAGE AREA (ACRES)
- PROPOSED RUNOFF FROM 100 YR STORM (CFS)
- PROPOSED STORM DRAIN AND CURB INLET
- SUBDIVISION PHASE LINE
- PROPOSED DRAINAGE DIVIDE
- PROPOSED FLOW DIRECTION



PRELIMINARY
DRAINAGE PLAN

TRIBUTE WEST II

406 RESIDENTIAL LOTS AND 20 COMMON AREA LOTS

BEING 121.889 ACRES OUT OF THE
B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 170,
THOMAS D. LUCKETT SURVEY, ABSTRACT NO. 751,
THOMAS D. LUCKETT SURVEY, ABSTRACT NO. 752

THE CITY OF THE COLONY, DENTON COUNTY, TEXAS

TRIBUTE PARTNERS, L.P. OWNER
1660 S. Stemmons Freeway, Suite 100 (972)221-1199
Lewisville, Texas 75067
Contact: Kristian Teleki

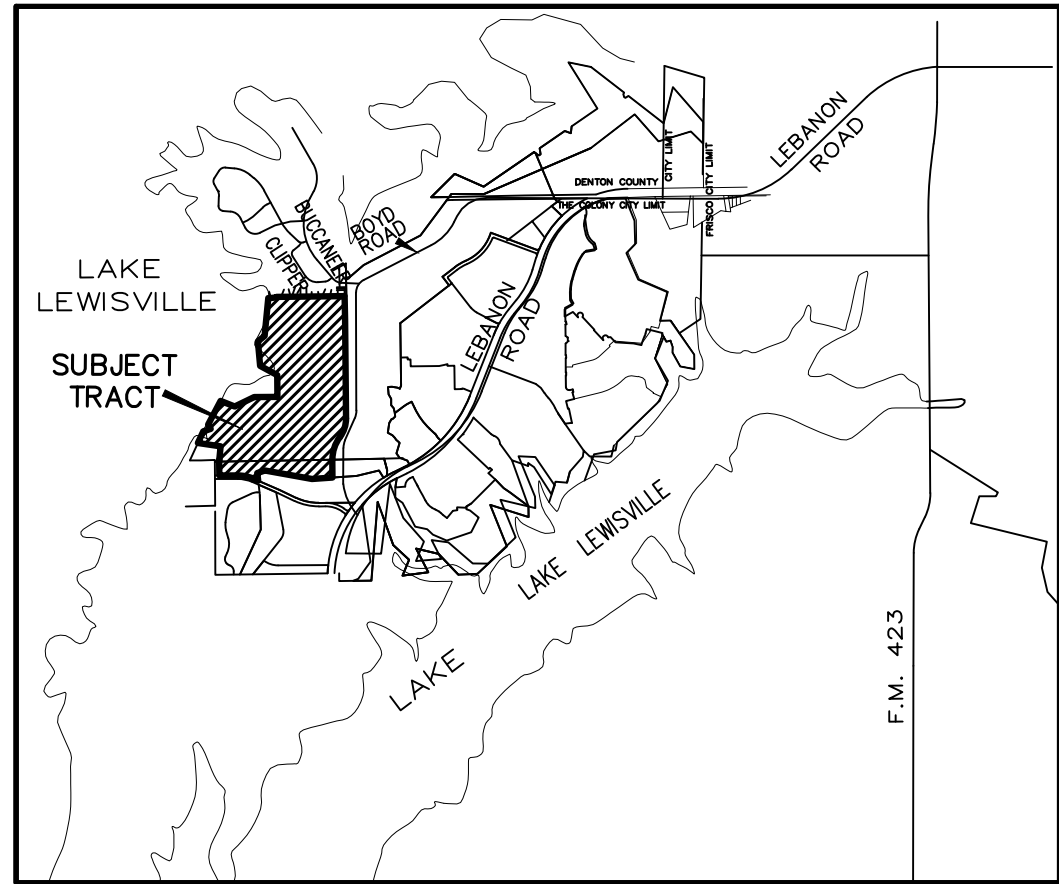
JB PARTNERS, INC. SURVEYOR/ENGINEER
16301 Quorum Drive, Suite 200 B (972)248-7676
Addison, Texas 75001
Contact: Jason Kaiser, P.E.
TBPE No. F-438 TBPLS No. 10076000

NOTES:
ALL RCP IS 24" UNLESS
OTHERWISE NOTED

ALL IMPROVEMENTS ASSOCIATED
WITH SOMERSET AND TULLAMORE
MEADOWS PHASE 2 MUST BE
BUILT CONCURRENTLY OR BE IN
PLACE PRIOR TO CONSTRUCTION
OF TRIBUTE WEST

REVISED: OCTOBER 2, 2015
SUBMITTED: AUGUST 20, 2015

SEE SHEET 1 FOR CONTINUATION



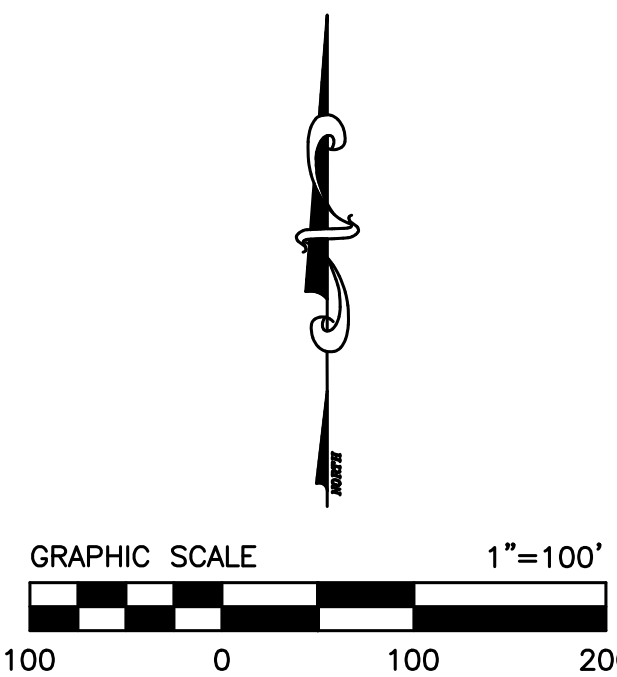
LOCATION MAP
N.T.S.

LEGEND

- PROPOSED WATER LINE
- EXISTING WATER LINE
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT

NOTE:

ALL IMPROVEMENTS ASSOCIATED WITH SOMERSET AND TULLAMORE MEADOWS PHASE 2 MUST BE BUILT CONCURRENTLY OR BE IN PLACE PRIOR TO CONSTRUCTION OF TRIBUTE WEST



PRELIMINARY WATER

TRIBUTE WEST

406 RESIDENTIAL LOTS AND 20 COMMON AREA LOTS

BEING 121.889 ACRES OUT OF THE
B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 170,
THOMAS D. LUCKETT SURVEY, ABSTRACT NO. 751,
THOMAS D. LUCKETT SURVEY, ABSTRACT NO. 752

THE CITY OF THE COLONY, DENTON COUNTY, TEXAS

TRIBUTE PARTNERS, L.P. OWNER
320 W Main Street (972)221-1199
Lewisville, Texas 75057
Contact: Kristian Teleki

JB PARTNERS, INC. SURVEYOR/ENGINEER
16301 Quorum Drive, Suite 200 B (972)248-7676
Addison, Texas 75001
Contact: Jason Kaiser, P.E.
TBPE No. F-438 TBPLS No. 10076000

REVISED: OCTOBER 2, 2015
SUBMITTED: AUGUST 20, 2015

TRACT NO. C-224
FINAL JUDGEMENT
TO THE USA
VOL. 419, PG. 484

APPROXIMATE 100 YEAR FLOODPLAIN
PER FEMA MAP NO. 48121C0560G,
MAP REVISED DATE APRIL 18, 2011.

TRACT NO. C-224
FINAL JUDGEMENT
TO THE USA
VOL. 419, PG. 484

TRACT C-224E
FLOWAGE EASEMENT RESERVED
BELOW THE 537' CONTOUR LINE.
VOL. 419 PG. 484
D.R.D.C.T.
(537' ELEVATION AS STAKED
SURVEYED ON THE GROUND)

LOT 61X, BLOCK A
COMMON AREA &
DRAINAGE EASEMENT
3.667 ACRES

LOT 62X, BLOCK A
COMMON AREA
(AMENITY CENTER)
2.368 ACRES

LOT 34X, BLOCK L
COMMON AREA
1.186 ACRES

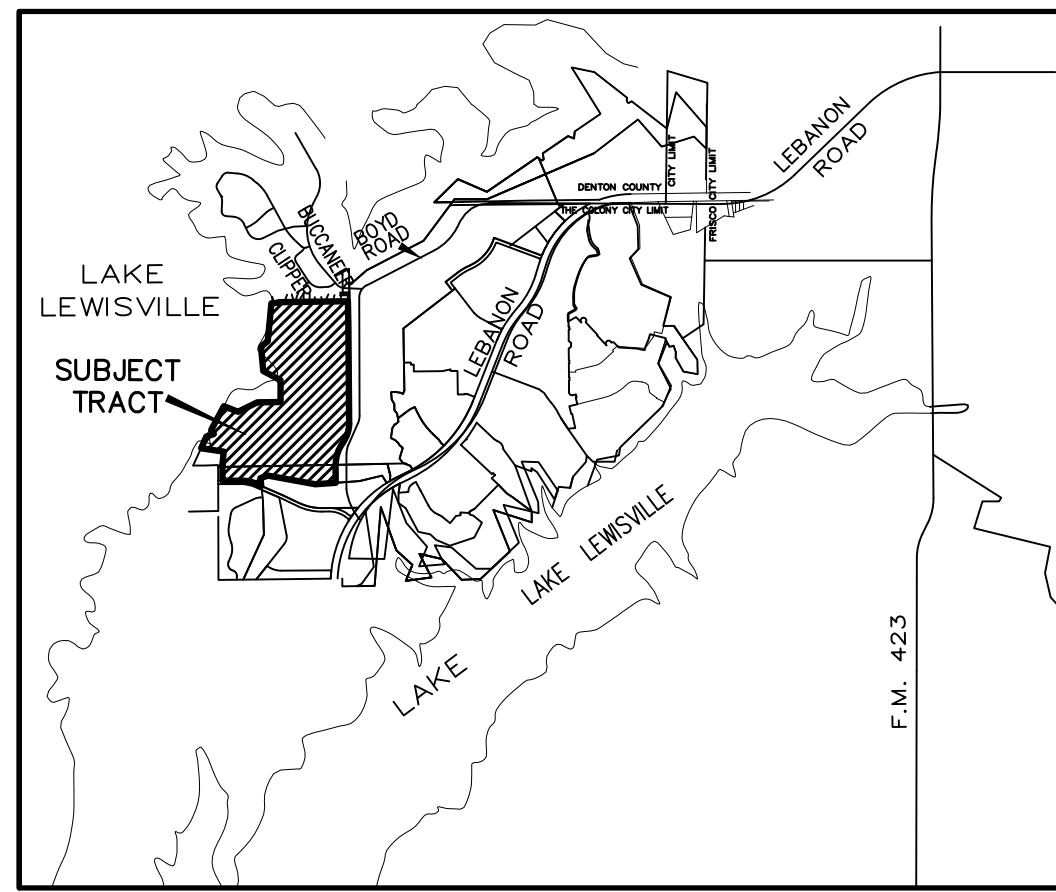
LOT 25X, BLOCK M
COMMON AREA
0.891 ACRES

LOT 33X, BLOCK L
COMMON AREA
1.186 ACRES

LOT 19X, BLOCK Q
COMMON AREA
0.701 ACRES

WYNNWOOD HAVEN ESTATES
CABINET E, PAGE 209

SEE SHEET 2 FOR CONTINUATION



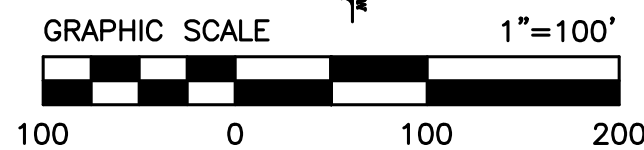
LOCATION MAP
N.T.S.

LEGEND

- Proposed sanitary sewer
- Proposed sanitary sewer manhole
- Proposed sanitary sewer flow direction
- Existing sanitary sewer
- Existing sanitary sewer manhole
- Existing sanitary sewer flow direction

NOTES:
ALL SSWR MANHOLES ARE TO BE
5' DIA. UNLESS OTHERWISE NOTED

ALL IMPROVEMENTS ASSOCIATED
WITH SOMERSET AND TULLAMORE
MEADOWS PHASE 2 MUST BE
BUILT CONCURRENTLY OR BE IN
PLACE PRIOR TO CONSTRUCTION
OF TRIBUTE WEST



PRELIMINARY SANITARY SEWER

TRIBUTE WEST

406 RESIDENTIAL LOTS AND 20 COMMON AREA LOTS

BEING 121.889 ACRES OUT OF THE
B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 170,
THOMAS D. LUCKETT SURVEY, ABSTRACT NO. 751,
THOMAS D. LUCKETT SURVEY, ABSTRACT NO. 752

THE CITY OF THE COLONY, DENTON COUNTY, TEXAS

TRIBUTE PARTNERS, L.P. OWNER
320 W Main Street (972)221-1199
Lewisville, Texas 75057
Contact: Kristian Teleki

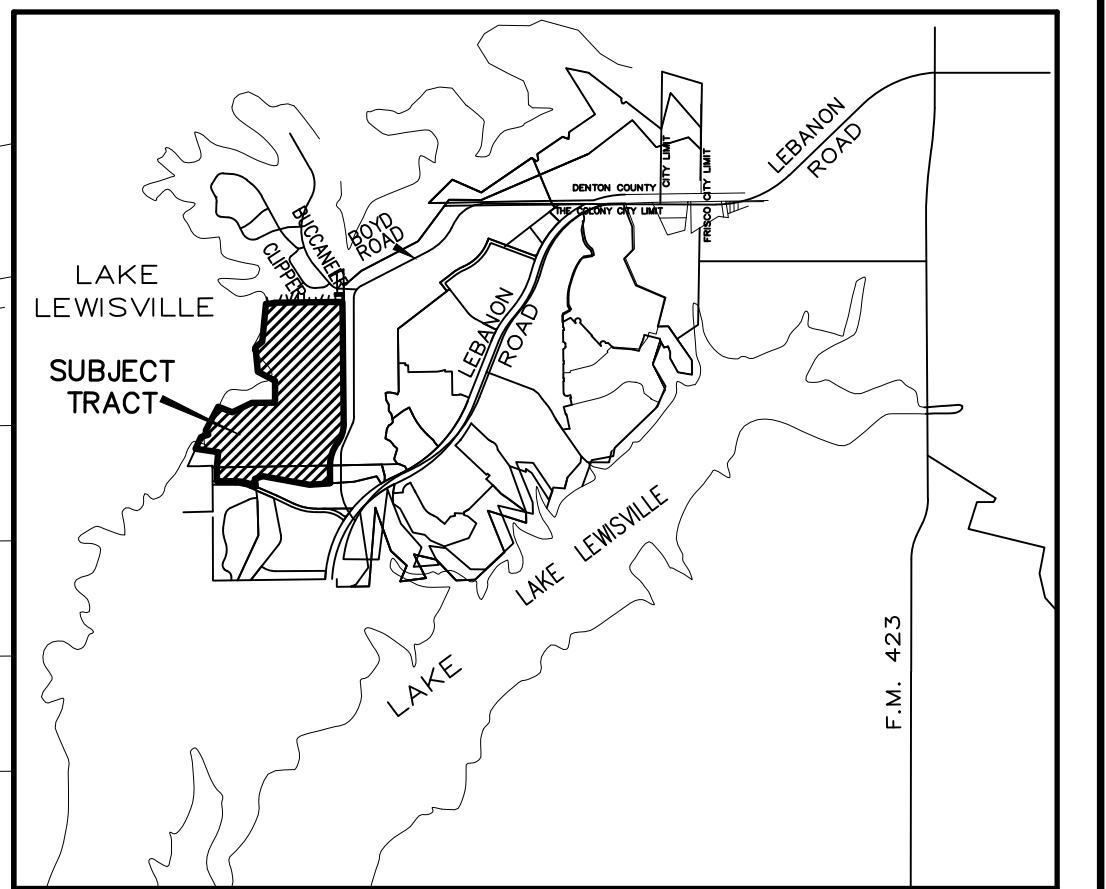
JBI PARTNERS, INC. SURVEYOR/ENGINEER
16301 Quorum Drive, Suite 200 B (972)248-7676
Addison, Texas 75001
Contact: Jason Kaiser, P.E.
TBPE No. F-438 TBPLS No. 10076000

REVISED: OCTOBER 2, 2015
SUBMITTED: AUGUST 20, 2015

Sheet 1 of 2







Plotted by: borensaw Plot Date: 10/2/2015 12:02 PM

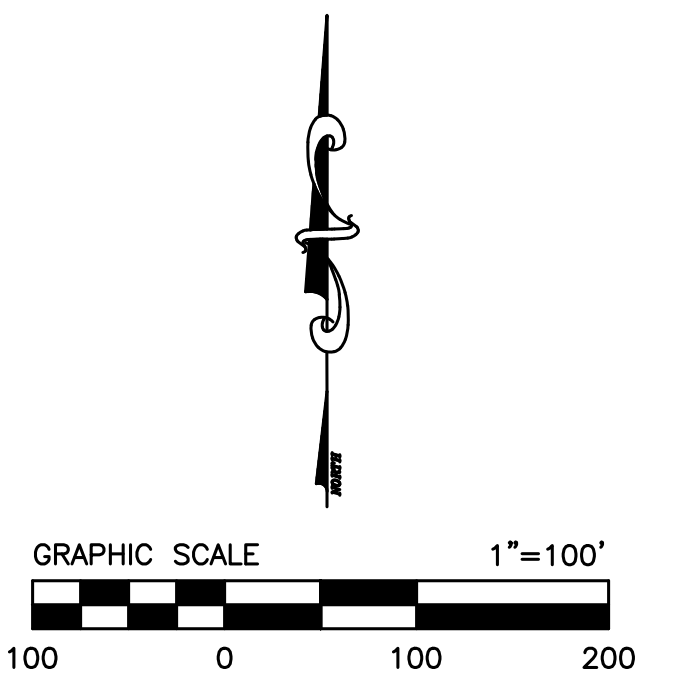
Drawing: H:\Projects\020002-01\Tribute West.dwg Preliminary Engineering\020002-01\Tribute West.dwg Saved By: borensaw Save Time: 10/2/2015 12:01 PM



LOCATION MAP
N.T.S.

LEGEND

-  Proposed sanitary sewer
 Proposed sanitary sewer manhole
 Proposed sanitary sewer flow direction
 Existing sanitary sewer
 Existing sanitary sewer manhole
 Existing sanitary sewer flow direction



PRELIMINARY
SANITARY SEWER
TRIBUTE WEST

406 RESIDENTIAL LOTS AND 20 COMMON AREA LOTS

BEING 121.889 ACRES OUT OF THE
B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 170,
THOMAS D. LUCKETT SURVEY, ABSTRACT NO. 751,
THOMAS D. LUCKETT SURVEY, ABSTRACT NO. 752

THE CITY OF THE COLONY, DENTON COUNTY, TEXAS

TRIBUTE PARTNERS, L.P.	OWNER
320 W Main Street Lewisville, Texas 75067 Contact: Kristian Teleki	(972)221-1199

JB PARTNERS, INC. **SURVEYOR/ENGINEER**
 16301 Quorum Drive, Suite 200 B (972)248-7676
 Addison, Texas 75001
 Contact: Jason Kaiser, P.E.
 TBPE No. F-438 TBPLS No. 10076000

NOTES:
ALL SSWR MANHOLES ARE TO BE
5' DIA. UNLESS OTHERWISE NOTED

ALL IMPROVEMENTS ASSOCIATED
WITH SOMERSET AND TULLAMORE
MEADOWS PHASE 2 MUST BE
BUILT CONCURRENTLY OR BE IN
PLACE PRIOR TO CONSTRUCTION
OF TRIBUTE WEST

REVISED: OCTOBER 2, 2015
SUBMITTED: AUGUST 20, 2015

PLANNING AND ZONING COMMISSION REPORT

AGENDA DATE: October 27, 2015

DEPARTMENT: Development Services Department

PLANNER: Surupa Sen, AICP Senior Planner, 972-624-3164

SUBJECT: *FP15-0006 Service King Final Plat*

Consider approval of a Final Plat for Lot 3, Block A, East Oak Wood Village Subdivision, being 2.450 acres out of the B.B.B. & C.R.R. Survey, Abstract No. 173, an addition to the City of The Colony, Denton County, Texas, located on Memorial Drive, west of Budget Suites, north of existing Firestone, in Business Park (BP) zoning district.

APPLICANT

Owner/Developer:	Victory @ 121 North, LLC	Irving, Texas
Engineer/Surveyor:	Claymoore Engineering	Bedford, Texas

EXISTING CONDITION OF PROPERTY

The subject property is currently undeveloped.

PROPOSED DEVELOPMENT

One lot is being final platted out of Lot 1, Block A of East Oak Wood Village Subdivision, recorded in Cabinet X, Page 746, Plat Records, Denton County, Texas. The lot is proposed to have commercial land use, specifically an automobile body shop called Service King.

ADJACENT ZONING

North - Business Park (BP) - Five Start Sports Complex
South - Business Park (BP) - Firestone, Goody Goody Liquor
East - Light Commercial (LC) and Business Park (BP) - Budget Suites
West - Business Park (BP) - undeveloped land

PLAT DETAILS

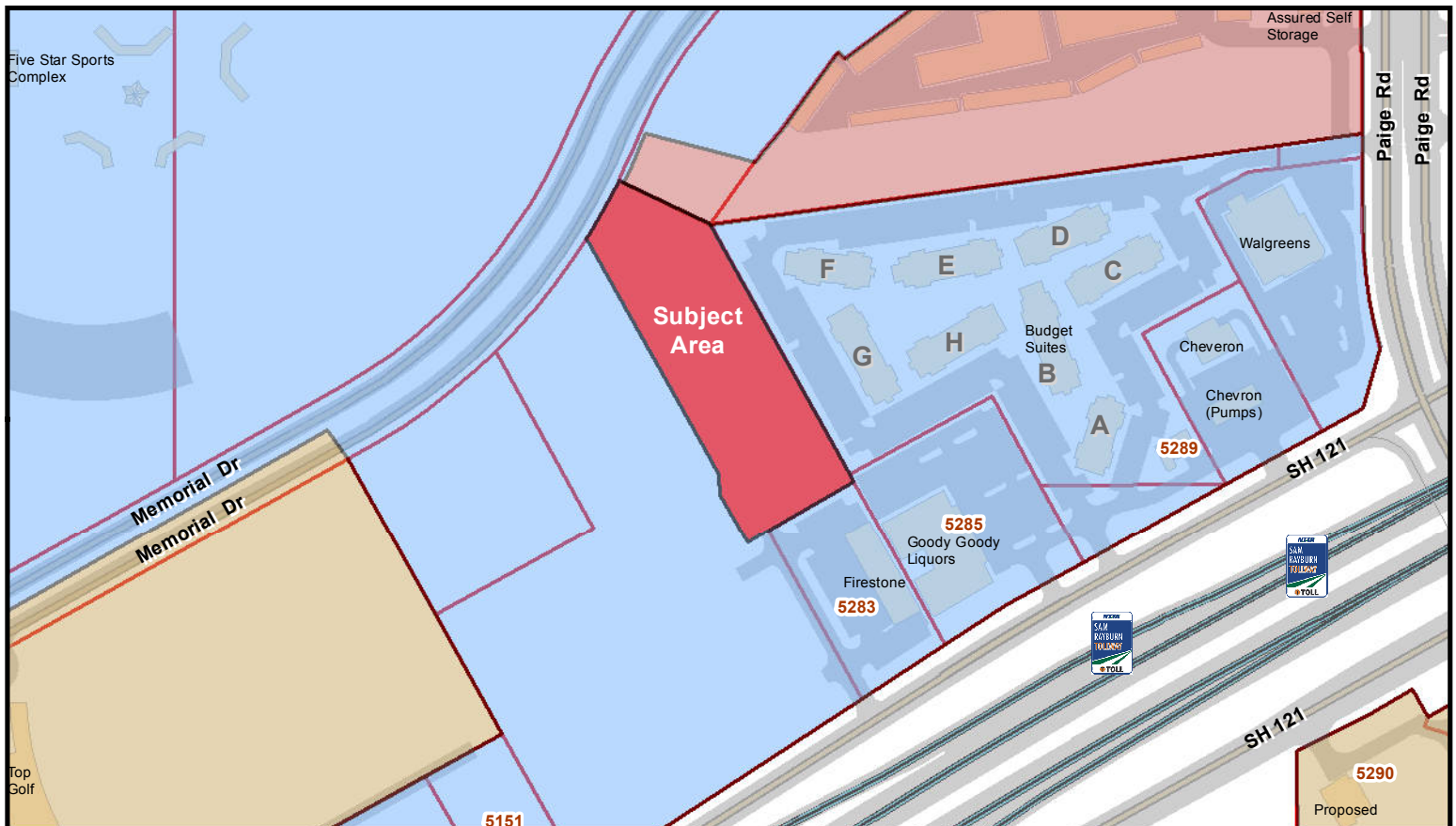
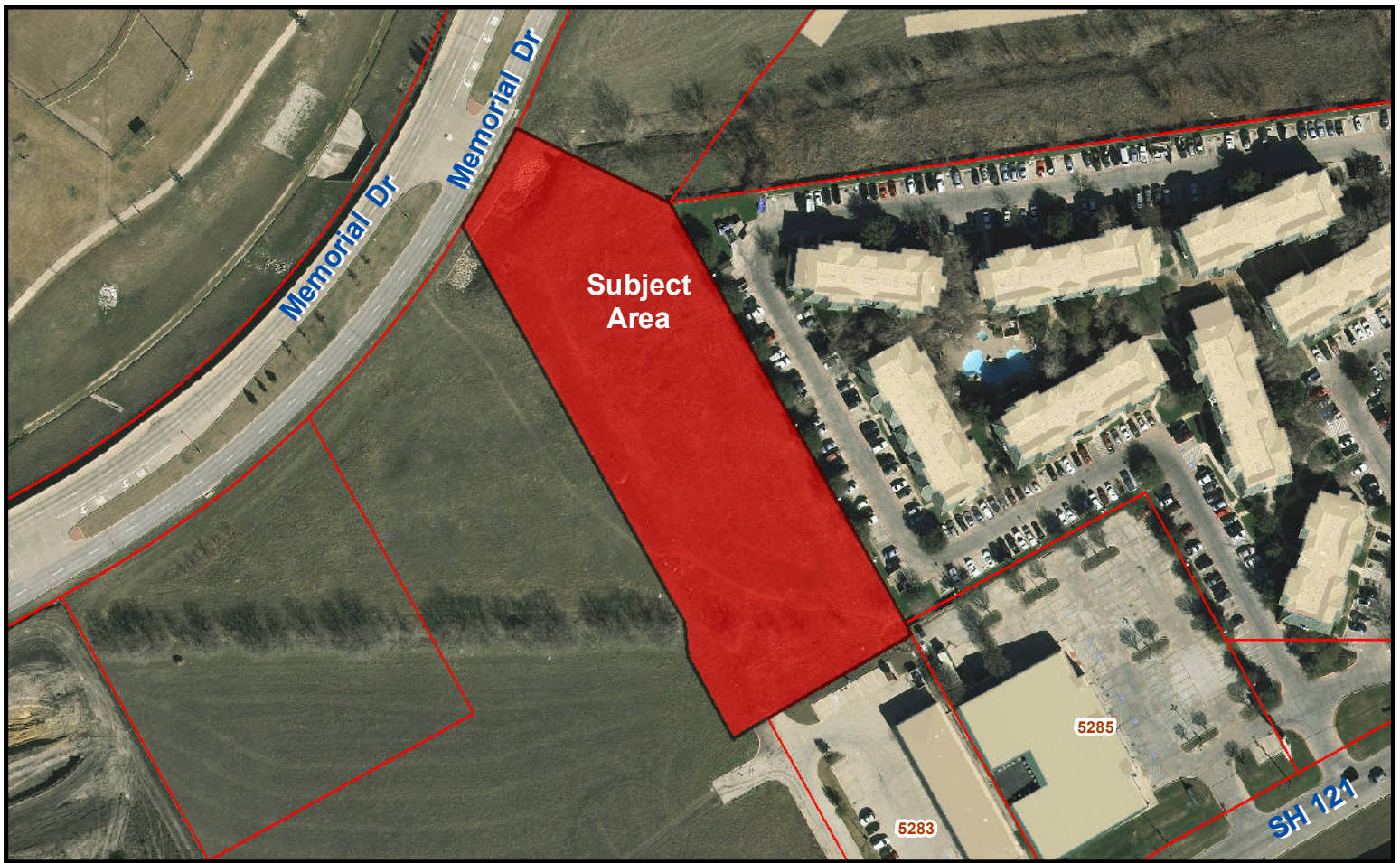
The subject property is located on Memorial Drive, west of the Budget Suites, and north of the existing Firestone Tire and Auto Service Center. The property is zoned Business Park (BP). The Final Plat meets, Appendix B, Subdivision Ordinance, of The Colony Code of Ordinances and other applicable ordinance requirements.

RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the Final Plat.

ATTACHMENTS

1. Location Map
2. Proposed Final Plat

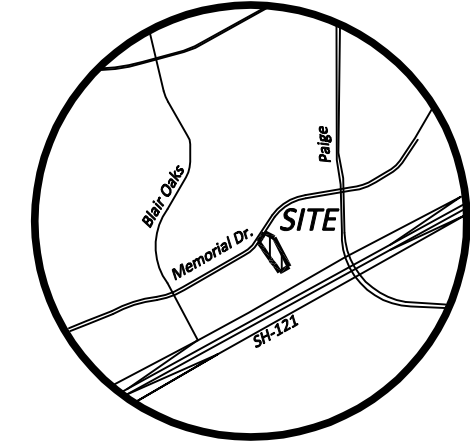


Project No. FP15-0006 - Project Name: Service King

Service King	Business Park/Industrial	Heavy Commercial	Mobile Home	Planned Development	Building Footprints
Agricultural	Duplex Dwelling	Industrial	Neighborhood Service	Shopping Center	
Business Park	General Retail	Light Commercial	Office District 1	Single Family Dwelling	

This map was generated by GIS data provided by The Colony GIS Department. The City of The Colony does not guarantee the correctness or accuracy of any features on this map. These digital products are for illustration purposes only and are not suitable for site-specific decision making.





LINE	BEARING	DISTANCE	CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
L1	N 60°46'03" E	117.01	C1	44.00	90°00'00"	69.12	S 74°13'57" E	62.23
L2	S 29°13'57" E	25.19	C2	20.00	2°34'22"	8.39	S 41°06'38" E	8.23
L3	S 52°59'19" E	29.05	C3	44.00	113°45'22"	87.36	S 03°53'22" W	73.70
L4	S 60°46'03" W	74.21	C4	20.00	90°00'01"	31.42	S 55°46'03" W	28.28
L5	S 28°21'01" E	11.57	C5	20.00	113°45'22"	39.71	N 03°53'22" E	33.50
L6	S 59°34'42" W	30.04	C6	44.00	2°34'22"	18.24	N 41°06'38" W	18.11
L7	N 29°13'57" W	57.24	C7	20.00	90°00'00"	31.42	N 74°13'57" W	28.28
L8	N 60°46'03" E	124.38	C8	20.00	39°44'48"	13.87	S 40°53'39" W	13.60
L9	S 52°59'19" E	29.05	C9	43.79	26°55'49"	30.58	N 76°34'51" W	20.89
L10	N 29°13'57" W	281.19	C10	20.00	6°06'59"	2.14	N 51°35'34" E	2.13
L11	S 60°46'03" W	104.82	C11	20.00	94°28'45"	32.98	S 05°44'57" E	29.37
L12	N 29°13'57" W	26.62	C12	44.00	62°57'52"	48.30	N 60°42'33" W	48.26
L13	S 64°14'46" E	106.26	C13	44.00	20°41'10"	15.89	N 20°19'58" E	15.80
L14	S 60°46'03" W	83.69	C14	20.00	90°00'00"	31.42	S 55°46'03" W	28.28
L15	S 29°13'57" E	10.00	C15	107.50	9°35'22"	17.99	S 34°01'38" E	17.97
L16	S 60°46'03" W	68.38						
L17	N 29°14'27" W	48.91						
L18	S 64°14'03" E	15.23						
L19	S 15°46'03" W	38.10						
L20	S 29°13'57" E	33.28						
L21	N 29°13'57" W	25.68						
L22	N 15°46'03" E	46.95						
L23	S 29°13'57" E	30.50						
L24	S 60°46'03" W	10.00						
L25	N 29°13'57" W	15.00						
L26	N 60°46'03" E	23.01						
L27	S 29°13'57" E	10.00						
L28	S 60°46'03" W	10.00						
L29	N 29°13'57" W	9.55						
L30	N 59°56'28" E	7.89						
L31	N 29°13'57" W	53.52						
L32	S 59°59'19" E	29.05						
L33	S 15°45'19" W	27.48						
L34	S 29°13'57" E	65.35						
L35	N 29°13'57" W	29.00						
L36	N 80°13'57" W	79.00						
L37	N 29°13'57" W	17.31						
L38	S 89°14'21" E	95.79						
L39	N 15°45'21" E	28.49						
L40	S 64°16'04" E	15.23						
L41	S 57°34'31" W	15.86						
L42	N 51°21'39" W	32.73						
L43	S 51°21'39" E	42.84						
L44	N 60°46'03" E	24.00						
L45	S 29°13'57" E	18.00						
L46	S 38°49'12" E	8.46						
L47	S 29°13'57" W	10.00						
L48	S 60°46'03" W	19.75						
L49	N 29°13'57" W	65.00						
L50	N 05°33'16" W	10.51						

Owner:
Victory @ 121 North, LLC
825 W. Royal Lane, Suite 250
Irving, TX 75039
Fayyaz Ramji 214.718.2626

TBPLS REG#10118200

Notary Public in and for the State of Texas

The City of The Colony is not responsible for the design, construction, operation, maintenance, or use of any earthen channel and/or associated drainage easements, hereinafter referred to as "improvements," to be developed and constructed by Owner or his successors. Owner will indemnify, defend and hold harmless the City of The Colony, its officers, employees and agents from any direct r indirect loss, damage, liability, or expense and attorneys' fees for any negligence whatsoever, arising out of the design, construction, operation, maintenance, condition, or use of the "improvements," including any operation, maintenance, condition, or use of the improvements by any successor in interest. Owner will assume the full obligation and responsibility for the design, construction, operation, maintenance, condition, or use of the improvements and the full responsibility and liability for the "improvements." All of the above shall be covenants running with the land. It is expressly contemplated that Owner shall impose these covenants upon Lot 3 abutting, adjacent, or served by the "improvements" the full obligation and responsibility of maintaining and operating said "improvements."

PLANNING AND ZONING COMMISSION REPORT

AGENDA DATE: October 27, 2015

DEPARTMENT: Development Services Department

PLANNER: Surupa Sen, AICP Senior Planner, 972-624-3164

SUBJECT: *FP15-0008 East Oak Wood Village Lots 1 and 4, Block A Final Plat*

Consider approval of a Final Plat for Lots 1 and 4, Block A, East Oak Wood Village Subdivision, being 4.479 acres out of the B.B.B. & C.R.R. Survey, Abstract No. 173, an addition to the City of The Colony, Denton County, Texas, located on Memorial Drive, east of Top Golf, in Business Park (BP) zoning district.

APPLICANT

Owner/Developer:	Victory @ 121 North, LLC	Irving, Texas
Engineer/Surveyor:	Claymoore Engineering	Bedford, Texas

EXISTING CONDITION OF PROPERTY

The subject property is currently undeveloped.

PROPOSED DEVELOPMENT

Two lots are being final platted out of Lot 1, Block A of East Oak Wood Village Subdivision, recorded in Cabinet X, Page 746, Plat Records, Denton County, Texas. Proposed development on Lot 1 is a 4 story Hyatt Hotel. Lot 4 is proposed to be developed with an indoor virtual shooting gallery called Modern Round.

ADJACENT ZONING

North - Business Park (BP) - Five Start Sports Complex
South - Business Park (BP) – undeveloped land
East - Business Park (BP) – undeveloped land and proposed Service King
West - Planned Development (PD-27) – Top Golf

PLAT DETAILS

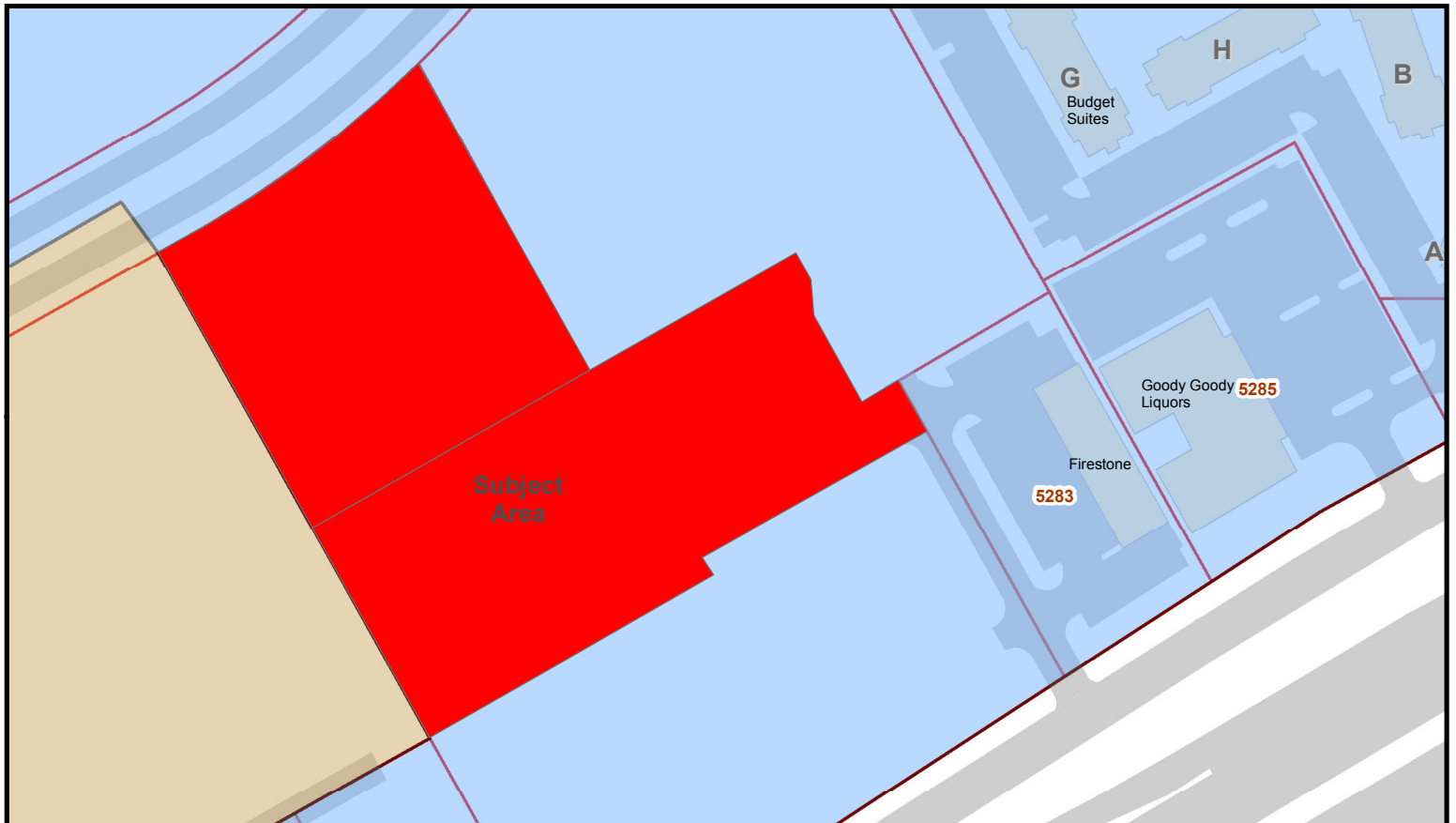
The subject property is located on Memorial Drive, east of Top Golf. The property is zoned Business Park (BP). The Final Plat meets, Appendix B, Subdivision Ordinance, of The Colony Code of Ordinances and other applicable ordinance requirements.

RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the Final Plat.

ATTACHMENTS

1. Location Map
2. Proposed Final Plat

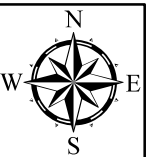


Project No. FP15-0008 - Project Name: Modern Round and Hyatt



■ Modern Round & Hyatt	■ Business Park/Industrial	■ Heavy Commercial	■ Mobile Home	■ Planned Development	■ BuildingFootprints
■ Agricultural	■ Duplex Dwelling	■ Industrial	■ Neighborhood Service	■ Shopping Center	
■ Business Park	■ General Retail	■ Light Commercial	■ Office District 1	■ Single Family Dwelling	

This map was generated by GIS data provided by The Colony GIS Department. The City of The Colony does not guarantee the correctness or accuracy of any features on this map. These digital products are for illustration purposes only and are not suitable for site-specific decision making.



N:\AL FILES\552-CLAYMOORE ENGINEERING\CLAYTON THE MEMORIAL DRIVE\Lot 1 & 4 Record Plat\VP LOTS 1-4 2015-10-15.dwg, 10/22/2015 10:47:15 AM

LINE	BEARING	DISTANCE
L1	S 50°09'03" W	41.77'
L2	S 29°12'26" E	210.22'
L3	S 60°46'03" E	31.25'
L4	N 29°12'27" W	39.94'
L5	N 29°12'26" W	28.33'
L6	N 29°12'26" W	30.80'
L7	S 60°47'34" W	5.00'
L8	N 29°12'27" W	3.50'
L9	N 29°12'26" W	204.01'
L10	N 50°09'03" E	1.02'
L11	S 29°12'26" E	204.20'
L12	S 60°46'03" W	1.00'
L13	S 29°12'26" E	28.33'
L14	S 29°12'27" E	41.96'
L15	N 29°12'27" W	225.99'
L16	N 60°47'34" E	5.00'
L17	S 29°12'26" E	30.80'
L18	S 60°47'36" W	249.27'
L19	N 29°12'27" W	146.45'
L20	N 60°46'03" E	375.51'
L21	S 29°13'57" E	116.52'
L24	S 29°13'57" E	12.00'
L25	S 60°46'03" E	10.00'
L26	N 29°13'57" W	9.12'
L27	N 29°13'57" W	10.00'
L28	N 60°46'03" E	10.00'
L29	S 29°13'57" E	7.82'
L33	S 60°46'03" W	4.25'
L34	N 29°13'57" W	56.62'
L35	N 38°49'24" E	29.64'
L36	N 29°09'30" W	7.28'
L37	N 60°46'03" E	15.00'
L38	S 28°53'02" E	4.63'
L39	N 81°10'41" E	10.48'
L40	S 29°13'57" E	11.56'
L41	S 05°33'16" E	4.17'
L42	S 41°10'41" W	5.90'
L43	S 38°49'19" E	10.73'
L44	S 05°33'16" E	19.52'
L45	S 29°13'57" E	65.00'
L46	N 60°46'03" E	27.50'
L47	N 60°46'03" E	27.50'
L48	S 60°47'36" W	5.00'
L49	S 29°12'27" E	93.44'
L50	N 29°12'24" W	105.89'
L51	S 29°13'57" E	151.60'
L52	S 60°45'43" W	30.51'
L53	S 29°13'57" E	25.00'
L54	N 60°46'03" E	41.00'
L55	S 60°47'36" W	151.42'

Δ = 15°08'24"
R = 985.00'
A = 260.28'
CB = N 53°13'18" E

N 60°47'30" E
35.06'

Point of Beginning

TSP Coordinates
N:7,076,738.31
E:2,464,063.08

Mutual Access Easement
Inst. No. 2015-93215

15' UTILITY EASEMENT
VOL. 2012 PG. 218
P.R.D.C.T.

12' ACCESS EASEMENT
VOL. 2012 PG. 218
P.R.D.C.T.

5' DRAINAGE EASEMENT

LOT 2R, BLOCK A
GATEWAY 121 COMMERCIAL SUBDIVISION
DOCUMENT NO. 2013-000295, P.R.D.C.T.

SURVEYOR'S CERTIFICATE

I, Austin J. Bedford, a Registered Professional Land Surveyor, licensed in the State of Texas, affirm that this plat was prepared under my supervision, from recorded documentation, evidence collected on the ground during field operations and other reliable documentation; and that this plat substantially complies with the Rules and Regulations of the Texas Board of Professional Land Surveying, and the City of The Colony, Texas.

Austin J. Bedford
Registered Professional Land Surveyor No. 4132
A.J. Bedford Group, Inc.
301 North Alamo Road
Rockwall, Texas 75087

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned, a notary public in and for said county and state, on this day personally appeared Austin J. Bedford, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledge to me that he executed the same for the purposes and considerations therein expressed, and in the capacity therein stated and as the act and deed of said company.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the ____ day of _____, 2015.

Notary Public in and for the State of Texas

LOT 5, BLOCK A
GATEWAY 121 COMMERCIAL SUBDIVISION
DOCUMENT NO. 2014-389, P.R.D.C.T.

12' MUTUAL ACCESS AND DRAINAGE EASEMENT
VOL. 2014, PG. 389, P.R.D.C.T.
AS SHOWN ON VOL. 2015, PG. 196, P.R.D.C.T.

12' MUTUAL ACCESS, DRAINAGE AND UTILITY EASEMENT
VOL. 2014, PG. 389, P.R.D.C.T.

12' MUTUAL ACCESS, DRAINAGE AND UTILITY EASEMENT
VOL. 2014, PG. 389, P.R.D.C.T.

12' MUTUAL ACCESS, DRAINAGE AND UTILITY EASEMENT
VOL. 2014, PG. 389, P.R.D.C.T.

12' MUTUAL ACCESS, DRAINAGE AND UTILITY EASEMENT
VOL. 2014, PG. 389, P.R.D.C.T.

Lot 4, Block A
2.465 Acres
107,384 Sq. Ft.

Lot 1, Block A
Oak Wood Village
Cabinet X, Page 746 (PRDCT)
Victory @ 121 North, LLC
cc# 2013-133723
(OPRDCT)

Lot 1, Block A
2.014 Acres
87,711 Sq. Ft.

Victory @ 121 North, LLC
cc# 2013-133723
(OPRDCT)

Called 46.2439 Acres
City of The Colony
Document No. 00-56620
(OPRDCT)

Drainage and Utility Easement
Inst. No. 2015-93213
Vol. 4903, Pg. 04154 (OPRDCT)
To be abandoned

15' DRAINAGE EASEMENT
Inst. No. 2015-93219

15' UTILITY EASEMENT
Inst. No. 2015-93218

15' MUTUAL ACCESS, DRAINAGE AND UTILITY EASEMENT
Inst. No. 2015-93210

12' MUTUAL ACCESS, DRAINAGE AND UTILITY EASEMENT
Inst. No. 2015-93220

15' UTILITY EASEMENT
VOL. 2015, PG. 196, P.R.D.C.T.

12' MUTUAL ACCESS, DRAINAGE AND UTILITY EASEMENT
VOL. 2014, PG. 389, P.R.D.C.T.

12' MUTUAL ACCESS, DRAINAGE AND UTILITY EASEMENT
VOL. 2014, PG. 389, P.R.D.C.T.

12' MUTUAL ACCESS, DRAINAGE AND UTILITY EASEMENT
VOL. 2014, PG. 389, P.R.D.C.T.

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12' MUTUAL ACCESS, DRAINAGE AND UTILITY EASEMENT
VOL. 2014, PG. 389, P.R.D.C.T.

12' MUTUAL ACCESS, DRAINAGE AND UTILITY EASEMENT
VOL. 2014, PG. 389, P.R.D.C.T.

LEGEND
IRF Iron Rod Found
IRS Iron Rod Set
OPRDCT Official Public Records: Denton County, Texas
PRDCT Plat Records: Denton County, Texas

Engineer:
CLAYMOORE ENGINEERING
1903 Central Drive, Suite 406
Bedford, Texas 76021

Owner:
Victory @ 121 North, LLC
825 W. Royal Lane, Suite 250
Irving, TX 75039
Fayyaz Ramji 214.718.2626

Owner:
Colony Hotels, LLC
7701 Las Colinas Ridge, Suite 250
Irving, Texas 75063

OWNER'S CERTIFICATE
STATE OF TEXAS
COUNTY OF DENTON

WHEREAS VICTORY @ 121 NORTH, LLC and COLONY HOTELS, LLC are the owner of a 4.479 acre tract of land situated in the B.B. B. & C.R.R. Survey, Abstract No. 173, City of The Colony, Denton County, Texas, and being a portion of Lot 1, Block A, East Wood Village an addition to the City of The Colony according to the plat recorded in Cabinet X, Page 746 Plat Records Denton County, Texas (PRDCT) and being more particularly described as follows:

BEGINNING at a capped iron rod found in the south line of Memorial Drive a 100 feet wide right of way and being the most northerly corner of Lot 2R, Block A of Gateway Commercial Subdivision an addition to the City of The Colony according to the plat recorded in Document Number 2013-000295 Official Public Records Denton County, Texas (OPRDCT);

THENCE along the south line of said Memorial Drive, NORTH 60°47'30" EAST a distance of 35.06 feet to a 5/8 inch iron rod set for corner and being the beginning of a curve to the left having a radius of 985.00 feet and a chord bearing of NORTH 53°13'18" EAST;

THENCE continuing along said south line and along said curve through a central angle of 15°08'24" for an arc length of 260.28 feet to a 5/8 inch iron rod set for corner;

THENCE crossing said Lot 1, SOUTH 28°55'19" EAST a distance of 326.13 feet to a 5/8 inch iron rod set for corner;

THENCE NORTH 60°14'44" EAST a distance of 219.07 feet to a 5/8 inch iron rod set for corner;

THENCE SOUTH 29°13'06" EAST a distance of 29.13 feet to a 5/8 inch iron rod set for corner;

THENCE SOUTH 05°33'16" EAST a distance of 33.00 feet to a 5/8 inch iron rod set for corner;

THENCE SOUTH 29°13'57" EAST a distance of 96.97 feet to a 5/8 inch iron rod set for corner;

THENCE NORTH 57°34'35" EAST a distance of 38.06 feet to a 5/8 inch iron rod set for corner;

THENCE SOUTH 29°14'32" EAST a distance of 48.46 feet to an x-cut in concrete set for corner;

THENCE SOUTH 60°47'36" WEST a distance of 235.87 feet to a 5/8 inch iron rod set for corner;

THENCE SOUTH 32°25'24" EAST a distance of 16.53 feet to a 5/8 inch iron rod set for corner;

THENCE SOUTH 60°47'36" WEST a distance of 299.64 feet to an x-cut in concrete set for corner at the southeast corner of said Lot 2R;

THENCE along the common line of said Lot 1 and Lot 2R, NORTH 29°12'31" WEST a distance of 508.99 feet to the POINT OF BEGINNING;

CONTAINING 4.479 acres or 195,095 square feet of land more or less.

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	44.00'	79°21'28"	60.94'	S 05°33'16" W	56.19'
C2	24.00'	89°58'29"	37.69'	S 15°46'49" W	33.93'
C3	24.00'	90°01'30"	31.42'	N 74°13'12" W	28.29'
C4	44.00'	36°51'01"	28.30'	N 47°37'58" W	27.81'
C5	24.00'	36°51'02"	15.44'	N 47°37'57" W	15.17'
C6	24.00'	48°05'49"	20.15'	N 05°09'31" W	19.56'
C7	44.00'	48°05'49"	36.94'	N 05°09'31" W	35.86'
C8	44.00'	90°00'00"	60.12'	N 74°12'26" W	62.23'
C9	20.00'	89°59'58"	31.42'	N 74°12'26" W	28.28'
C10	20.00'	90°01'31"	31.42'	N 74°13'11" W	28.29'
C11	20.00'	79°21'28"	27.70'	N 10°28'18" E	25.54'
C12	20.00'	100°38'12"	35.13'	S 79°11'42" E	30.79'
C13	20.00'	89°58'29"	31.41'	S 15°46'49" W	28.28'
C14	20.00'	48°05'49"	16.79'	S 05°09'31" E	16.30'
C15	48.00'	48°05'49"	40.29'	S 05°09'31" E	39.12'
C16	48.00'	36°51'02"	30.87'	S 47°37'57" E	30.34'
C17	20.00'	36°51'01"	12.86'	S 47°37'58" E	12.64'
C18	18.00'	89°58'30"	28.27'	S 15°46'48" W	25.45'
C19	18.00'	26°24'46"	8.30'	N 75°58'26" W	8.22'
C20	20.00'	30°00'02"	10.47'	N 15°47'34" E	10.35'
C21	20.00'	90°00'00"	31.42'	S 74°12'26" E	28.28'
C22	20.00'	89°59'57"	31.42'	N 74°12'25" W	28.28'
C23	20.00'	89°58'30"	31.41'	N 15°46'48" E	28.28'
C24	20.00'	90°00'00"	31.42'	S 74°13'57" E	28.28'
C28	20.00'	30°00'12"	10.47'	N 45°44'31" E	10.35'
C29	92.50'	9°35'12"	15.48'	N 34°01'58" W	15.46'
C30	107.50'	8°28'43"	15.91'	N 34°34'58" W	15.89'
C31	92.50'	5°45'46"	9.30'	S 31°45'55" E	9.30'
C33	18.00'	43°43'12"	13.75'	S 53°03'15" E	13.41'
C34	20.00'	90°00'01"	31.42'	S 74°13'57" E	28.28'
C35	20.00'	44°17'12"	15.46'	N 82°54'39" E	15.08'
C36	50.00'	36°25'56"	23.07'	N 36°56'18" E	22.86'
C37	100.00'	28°40'00"	50.03'	N 37°12'58" E	48.51'
C38	20.00'	80°46'55"	28.20'	N 11°09'30" E	25.92'

GENERAL NOTES:

- The use of the word "certify" or "certificate" used hereon constitutes an expression of professional opinion regarding those facts of findings which are the subject of the certification, and does not constitute a warranty or guarantee, either expressed or implied.
- Basis of Bearings: Bearings are based on the Plat of Lot 1, Block A of East Oak Wood Village recorded in Cabinet X, Page 746, Plat Records, Denton County, Texas.
- FLOOD STATEMENT: According to Community Panel No. 48121C0560G, dated April 18, 2011 of the Federal Emergency Management Agency, National Flood Insurance Program map a portion of this property is within Flood Zone "X"(Shaded) and Zone AE", which are special flood hazard area. If this site is or is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur from flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of the Surveyor.
- Selling off a portion of this addition by metes and bounds description, without a replat being approved by the City of The Colony, is a violation of city ordinance and state law and is subject to fines and withholding of utilities and building permits.
- The City of The Colony has adopted the National Electrical Safety Code (the "Code"). The Code generally prohibits structures within 17.5 feet on either side of the center line of overhead distribution lines and within 30 feet on either side of the centerline of overhead transmission lines. In some instances the Code requires greater clearances. Building permits will not be issued for structures within these clearance areas. Contact the building official with specific questions.
- Such clearance provisions shall be included in the design and construction when real property is developed or altered. Such clearance areas shall be recorded by the property developer or by the record owner on the subdivision plats; or shall be evidenced by written instrument, duly recorded, in the Public Records of Denton County, Texas. Unobstructed and adequate space shall be provided for all clearance areas in such a way that will allow the ingress and egress for utility related personnel and equipment to perform operations, maintenance and replacement of electrical supply and communication lines. Maintenance of clearance areas and/or easements shown on this plat are the responsibility of the individual property owners and do not constitute acceptance of same for maintenance purposes by the City of The Colony.
- Coordinates shown are State Plane Coordinate System North Central Zone, North American Datum of 1983 on grid coordinate values, no scale and no projection.
- Drainage and Maintenance Easement, Oakwood Village Apartments, Inc. and the City of The Colony recorded in Document No. 2005-125742 (OPRDCT), remain as modified by the recorded documents shown on this plat.
- Temporary Drainage Easement, Oakwood Village Apartments, Inc. & Grand Prairie-BF, L.P. in Doc. No. 2005-125742 (OPRDCT) areas lying within Lots 1 and 4 remain as modified by this plat.
- Temporary Construction Easement, Oakwood Village Apartments, Inc. & Grand Prairie-BF, L.P. in Document No. 2005-125743 and Document No. 2005-125741 (OPRDCT), expired by its own terms.

OWNER'S DEDICATION

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, **VICTORY @ 121 NORTH, LLC and COLONY HOTELS, LLC**, through the undersigned authority, do hereby adopt this final plat designation, the herein described property as EAST OAK WOOD VILLAGE, LOTS 1 & 4, BLOCK A, an addition to the City of The Colony, Denton County, Texas, and does hereby dedicate, in fee simple, to the public use forever any streets and alleys shown hereon. The easements shown on the plat area hereby reserved for the purpose indicated. The utility and fire lane easements shall be open to the public, fire and police units, garbage and rubbish collection agencies and all public and private utilities for each particular use. The maintenance of paving on the utility and fire lane easement is the responsibility of the property owner. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed, reconstructed or placed upon, over or across the easements shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same. All, and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements that may interfere with the construction, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time or procuring the permission of anyone. (Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance or service required or ordinarily performed by that utility).

Water main and waste water easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants water services and wastewater services from the main to the curb or pavement lines, and description of such additional easements herein granted shall be determined by their location as installed.

This plat is hereby adopted by the owner and approved by the City of The Colony (Called "City") subject to the following conditions that shall be binding upon the owners, their heirs, grantees, and successors. The Drainage and detention Easements within the limits of this addition, shall remain open at all times and will be maintained in a safe and sanitary condition by the owners of the lot or lots that are traversed by or adjacent to the Drainage and Detention Easement. The City will not be responsible for the maintenance and operation of said easement or for any damage to private property or person that results from conditions in the easement, or for the control of erosion. No obstruction to the natural flow of storm water run-off shall be permitted by construction of any type of building, fence or any other structure within the Drainage and Detention Easement, as herein above defined, unless approved by the City. The owners shall keep the drainage and detention easement clear and free of debris, silt, and any substance that would result in unsanitary conditions or obstruct the flow of water. And, the City shall have the right of ingress and egress for the purpose of inspecting and supervision of maintenance by the owners to alleviate any undesirable conditions that may occur. Furthermore, the City shall have the right, but not the obligation, to enter upon the above described drainage and detention easement to remove any obstruction and owners failure to remove such obstruction. Should the City of The Colony be compelled to remove any obstruction to the flow of water, after giving the owners written notice of such obstruction and owners fail to remove such obstruction, the City of The Colony shall be reimbursed by the owners reasonable cost of such labor, materials, and equipment for such instance. The City shall not be held liable for any damages of any nature resulting from the occurrence of these natural phenomena of resulting from the failure of any structure or structures, within the easement or otherwise.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of The Colony, Texas.

Witness, my hand this the ____ day of _____, 2015.

VICTORY @ 121 NORTH, LLC,
a Texas Limited liability company
By: The Gemini III Future Trust,
Its Manager

By:
Name: Fayyaz Ramji, Trustee

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned, a notary public in and for said county and state, on this day personally appeared Fayyaz Ramji, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledge to me that he executed the same for the purposes and considerations therein expressed, and in the capacity therein stated and as the act and deed of said company.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the ____ day of _____, 2015.

Notary Public in and for the State of Texas

Witness, my hand this the ____ day of _____, 2015.

COLONY HOTELS, LLC

By:
Name:

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned, a notary public in and for said county and state, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledge to me that he executed the same for the purposes and considerations therein expressed, and in the capacity therein stated and as the act and deed of said company.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the ____ day of _____, 2015.

Notary Public in and for the State of Texas

CERTIFICATE OF APPROVAL

On the ____ day of _____, 2015, this plat was duly approved by the Planning and Zoning Commission of the City of The Colony.

Signed: _____
Chairman of the Planning and Zoning Commission

Attest: _____
City Secretary

City Project # FP15-0008

FINAL PLAT EAST OAK WOOD VILLAGE LOTS 1 & 4, BLOCK A

Being 4.479 acres of land out of the B.B.B. & C.R.R. Survey, Abstract No. 173, Denton County, Texas and being a portion of Lot 1, Block A of East Oak Wood Village an addition to the City of The Colony according to the plat recorded in Cabinet X, Page 746, Plat Records, Denton County, Texas

Scale: 1" = 60'

Date: May 26, 2015

Technician: Spradling/Elam

Drawn By: Spradling/Elam

Checked By: A.J. Bedford

PLANNING AND ZONING COMMISSION REPORT

AGENDA DATE: October 27, 2015

DEPARTMENT: Development Services Department

PLANNER: Surupa Sen, AICP, Senior Planner, 972-624-3164

SUBJECT – *PDA15-0003, Amendment to Planned Development District No. 25*

Conduct a public hearing, discuss and consider making a recommendation to City Council on a request for an amendment to Planned Development 25 (Ordinance No 2011-1927), adding to Section XIV Miscellaneous - Subsection O - Live Outdoor Music.

APPLICANT/OWNER

City of The Colony

The Colony, TX

EXISTING CONDITION OF PROPERTY

Planned Development 25 aka the Grandscape Planned Development is partially developed with Nebraska Furniture Mart, restaurants (some under construction and some open) and a hotel under construction. If approved, the proposed text amendment will apply to Lots 1, 2R, 3, Block D of Grandscape Addition Phase II, and Lot 3, Block A, of Grandscape Addition Phase II within PD-25.

ORIGINAL REQUEST

The applicant is proposing to add Sub-Section O to Section XIV, Miscellaneous, as follows:

“O. Live Outdoor Music – Live outdoor music will be permissible during peak hours (defined as Monday through Friday after 6 p.m., Saturday, Sunday, and Holidays after 11:00 a.m.), not to be performed after 1 a.m. Music performances are not to exceed 95 dB at a distance of 100 meters.”

STAFF ANALYSIS

Staff had presented the aforementioned PD amendment request to the Commission on September 22, 2015 and received the following recommendations:

1. Changing the meter unit to feet
2. Having some sort of buffer between the residences and the music performance venue
3. Limiting performance time to 11:00 p.m. on weekdays, Monday through Thursday
4. Conducting the decibel study

Staff has since then reviewed and researched the decibel levels. Following website resources have been reviewed:

1. <https://www.osha.gov/SLTC/noisehearingconservation/index.html>
2. <http://www.gcaudio.com/resources/howtos/loudness.html>
3. <http://www.webmd.com/brain/tc/harmful-noise-levels-topic-overview>
4. http://www.turnittotheleft.org/educational/Audio_Quiz_KEY.pdf
5. http://audiology-web.s3.amazonaws.com/migrated/Fact%20Sheets%20-%20NIHL.pdf_53998b477e1cc0.84750764.pdf

From the facts reviewed regarding noise levels and possible effects with prolonged hearing, the 95 dB level is the optimum decibel level for music performances at 330 feet (Table 1). 330 feet is measured from the center of the stage. It is the overall noise including the noise generated by the

crowd and other associated uses (instruments etc.). Following table shows different Environmental Noise levels and their effects.

Table 1

Environmental Noise	
Weakest sound heard	0dB
Whisper Quiet Library at 6'	30dB
Normal conversation at 3'	60-65dB
Telephone dial tone	80dB
City Traffic (inside car)	85dB
Train whistle at 500', Truck Traffic	90dB
Jackhammer at 50'	95dB
Subway train at 200'	95dB
<i>Level at which sustained exposure may result in hearing loss</i>	<i>90 - 95dB</i>
Hand Drill	98dB
Power mower at 3'	107dB
Snowmobile, Motorcycle	100dB
Power saw at 3'	110dB
Sandblasting, Loud Rock Concert	115dB
<i>Pain begins</i>	<i>125dB</i>
Pneumatic riveter at 4'	125dB
<i>Even short term exposure can cause permanent damage - Loudest recommended exposure <u>WITH</u> hearing protection</i>	<i>140dB</i>
Jet engine at 100'	140dB
12 Gauge Shotgun Blast	165dB
Death of hearing tissue	180dB
Loudest sound possible	194dB

Sound levels of music are listed in the table below (Table 2)

Table 2

Sound Levels of Music	
Normal piano practice	60 -70dB
Fortissimo Singer, 3'	70dB
Chamber music, small auditorium	75 - 85dB
Piano Fortissimo	84 - 103dB
Violin	82 - 92dB
Cello	85 -111dB
Oboe	95-112dB
Flute	92 -103dB
Piccolo	90 -106dB

Clarinet	85 - 114dB
French horn	90 - 106dB
Trombone	85 - 114dB
Tympani & bass drum	106dB
Walkman on 5/10	94dB
Symphonic music peak	120 - 137dB
Amplifier, rock, 4-6'	120dB
Rock music peak	150dB

Rock music if played at the outdoor music performance will be at much higher decibel levels. That is why the 95 dB level at 330 feet is utilized as a control measure and to ensure safe listening environment.

Staff has generated a dB level map showing how sound is attenuating towards the residential area with 100 feet intervals (Lava Cantina Sound Level Attenuation Map). Lot 3, Block D is the site for future Lava Cantina which will have concerts and live music performances. Lava Cantina as a user initiated this PD amendment process. The map indicates that sound level generated by Lava Cantina will naturally drop to 0 dB near the residential subdivision in question here at 1000 feet. The green zone on the map shows where level drop down to 0 dB from the performing venue sound.

Lot 3, Block A is the larger land area envisioned for future mixed use center and entertainment district. At present where any music performance venue, if any, will locate within this large area is undecided. Staff has generated another map (Lot 3, Block A, Sound Level Attenuation Map) showing 100 foot buffers and sound level attenuation from the larger Lot 3, Block A of Grandscape Addition Phase II. This shows that the residential subdivision will be at 85 dB level or lower if music is performed at any location within Lot 3, Block A. This is equivalent to City Traffic (inside car) (Table 1) or chamber music, small auditorium (Table 2). In most probability music performance venue will not face the residential subdivision. The existing tree line and natural vegetation area along the railroad corridor between Destination Drive and the railroad provides ample buffer to cover the 85 dB sound level.

As a result, in staff opinion additional buffer is not needed under current location of the live outdoor music performance venue. With Commission recommendation the modified proposed request for PD 25 amendment is outlined below:

PROPOSED REQUEST

The applicant is proposing to add Sub-Section O to Section XIV, Miscellaneous, as follows:

“O. Live Outdoor Music – Live outdoor music will be permissible during peak hours (defined as Monday through Thursday after 6 p.m. till 11 p.m., Friday, Saturday, Sunday, and Holidays after 11:00 a.m., and not to be performed after 1 a.m.). Music performances are not to exceed 95 dB at a distance of 330 feet. Music performance venues will be located within Lots 1, 2R, 3, Block D of Grandscape Addition Phase II, and Lot 3, Block A, of Grandscape Addition Phase II within PD-25.”

NOTIFICATION

A notice of public hearing was published in the local newspaper a minimum of 10 days prior to the public hearing. In addition, four (4) property owners within 200 feet of the subject property were

notified by postcard a minimum of 10 days prior to the public hearing. There has been no public input to date.

OPTIONS

1. Approve as submitted.
2. Approve with conditions.
3. Deny.
4. Postpone consideration.
5. Table item.

DEVELOPMENT REVIEW COMMITTEE REVIEW

The Development Review Committee (DRC) recommends approval of the proposed amendment.

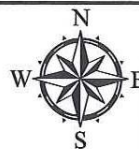
ATTACHMENTS

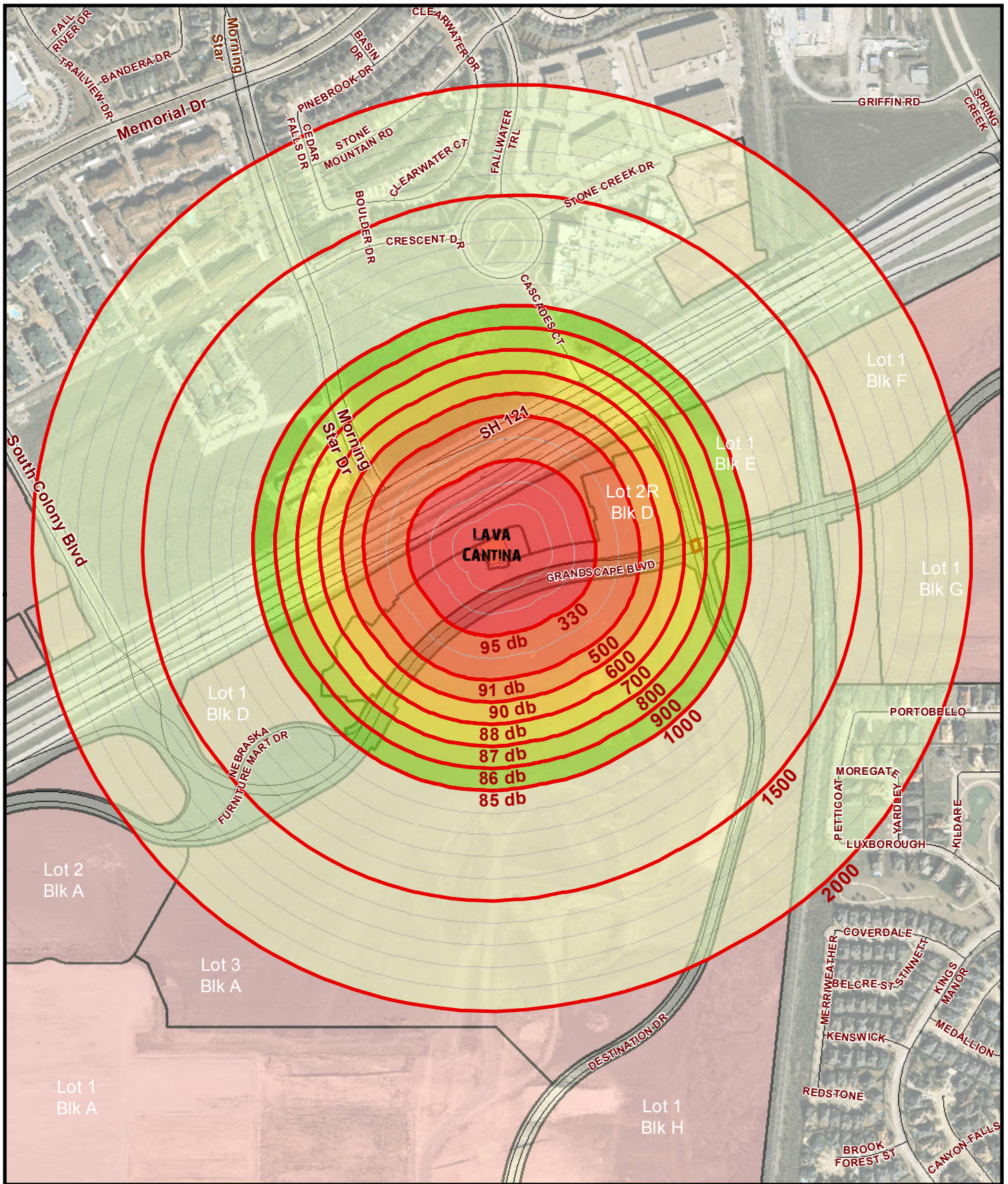
1. Location Map
2. Lava Cantina Sound Level Attenuation Map
3. Lot 3, Block A, Sound Level Attenuation Map
4. Proposed Ordinance



Subject Property

0 250 500 1,000 1,500
Feet





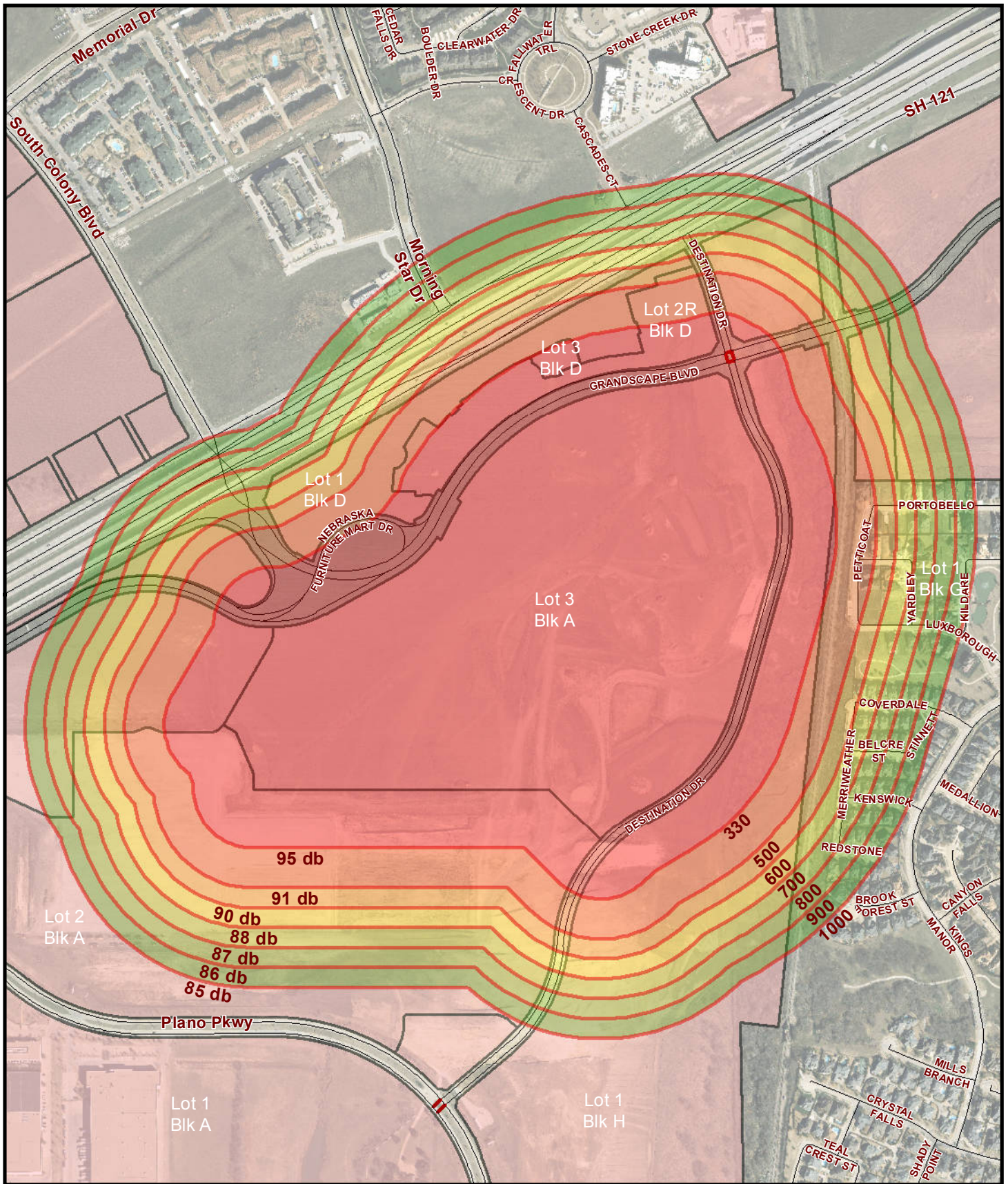
Lava Cantina Sound Level Attenuation Distance

0	85	86	87	88	90	91	95
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03006001,200 Feet

Date: 10/19/2015 12:52:35 PM
Doc Name: SoundLevels_LetterSize

DISCLAIMER:
This map was generated by GIS data provided by The Colony GIS Department. The City of The Colony does not guarantee the correctness or accuracy of any features on this map. These map products are for illustration purposes only and are not suitable for site-specific decision making. GIS data is subject to constant changes, and may not be complete, accurate or current.



Lot 3, Blk A Sound Level Attenuation Distance

85	86	87	88	90	91	95

0 300 600 1,200 Feet

Denton
Collin

The Colony

Tarrant
Dallas

Date: 10/19/2015 3:47:28 PM
 Doc Name: SoundLevelsLot3BlkA_LetterSize
 DISCLAIMER: This map was generated by GIS data provided by The Colony GIS Department. The City of The Colony does not guarantee the correctness or accuracy of any features on this map. These map products are for illustration purposes only and are not suitable for site-specific decision making. GIS data is subject to constant changes, and may not be complete, accurate or current.

CITY OF THE COLONY, TEXAS

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF THE COLONY, TEXAS, AMENDING PLANNED DEVELOPMENT 25 OR GRANDSCAPE PLANNED DEVELOPMENT ORDINANCE, ORDINANCE NO. 2011-1927, BY AMENDING EXHIBIT C, “DEVELOPMENT REGULATIONS” BY ADDING SUB-SECTION “O. LIVE OUDOOR MUSIC” TO SECTION XIV. MISCELLANEOUS; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A PENALTY OF A FINE NOT TO EXCEED TWO THOUSAND DOLLARS (\$2,000) FOR EACH AND EVERY OFFENSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the City Council of the City of The Colony, Texas, in compliance with the laws of the State of Texas, and the Code of Ordinances of the City of The Colony, Texas, have given the requisite notices by publication and otherwise, and have held due hearings and afforded a full and fair hearing to all property owners generally and to all persons interested, and the City Council of the City of The Colony, Texas, is of the opinion and finds that said changes should be granted, and that the Code of Ordinances should be amended.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF THE COLONY, TEXAS:

SECTION 1. The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

SECTION 2. That Exhibit C, of Planned Development 25 or Grandscape Planned Development, Ordinance No. 2011-1927, is hereby amended by adding Sub-Section “O” to Section XIV. Miscellaneous as follows:

O. Live Outdoor Music – Live outdoor music will be permissible during peak hours (defined as Monday through Thursday after 6 p.m. till 11 p.m., Friday, Saturday, Sunday, and Holidays after 11:00 a.m., and not to be performed after 1 a.m.). Music performances are not to exceed 95 dB at a distance of 330 feet. Music performance venues will be located within Lots 1, 2R, 3, Block D of Grandscape Addition Phase II, and Lot 3, Block A, of Grandscape Addition Phase II within PD-25.

SECTION 3. If any section, article paragraph, sentence, clause, phrase or word in this Ordinance, or application thereto any persons or circumstances is held invalid or unconstitutional by a Court of competent jurisdiction, such holding shall not affect the validity of the remaining portions of this Ordinance; and the City Council hereby declares it would have passed such remaining portions of this Ordinance despite such invalidity, which remaining portions shall remain in full force and effect.

SECTION 4. That all provisions of the Ordinances of the City of The Colony, Texas, in conflict with the provisions of this Ordinance be, and the same are hereby amended, repealed, and all other provisions of the Ordinances of the City not in conflict with the provisions of this Ordinance shall remain in full force and effect.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this Ordinance shall be deemed guilty of a misdemeanor and, upon conviction in the municipal court of the City of The Colony, Texas, shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense. Every day a violation occurs shall constitute a separate offense.

SECTION 6. This Ordinance shall become effective from and after its date of passage in accordance with law.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF THE COLONY, TEXAS, THIS _____ day of _____, 2015.

Joe McCourry, Mayor

ATTEST:

Christie Wilson, City Secretary

APPROVED AS TO FORM:

Jeff Moore, City Attorney

PLANNING AND ZONING COMMISSION REPORT

AGENDA DATE: October 27, 2015

DEPARTMENT: Engineering/Development Services Department

PLANNER: Surupa Sen, AICP, Senior Planner, 972-624-3164

SUBJECT *SP15-0024 Lava Cantina Development Plan*

Discuss and consider making a recommendation to City Council on a request for Development Plan for Lava Cantina, a 21,723 sf restaurant and entertainment venue, located on Lot 3, Block D, Grandscape Addition Phase II, near the northwest corner of Grandscape Boulevard and Destination Drive.

OWNER/ENGINEER

Owner/Developer:	LMG Ventures LLC	Omaha, Nebraska
Engineer/Surveyor:	Graham Associates	Arlington, Texas

EXISTING CONDITION OF PROPERTY

The property is currently undeveloped.

PROPOSED DEVELOPMENT

The applicant is proposing to build a 21,723 sf restaurant and entertainment venue.

ADJACENT ZONING AND LAND USE

North - SH 121 and Village at 121 development across SH 121
South - Planned Development 25 (PD 25) – Vacant land
East - Planned Development 25 (PD 25) – Vacant land
West - Planned Development 25 (PD 25) – Vacant land

DEVELOPMENT REVIEW COMMITTEE (DRC) REVIEW

The Development Review Committee (DRC) finds the Development Plan meets the requirements of the Appendix A, Zoning Ordinance, PD 25 and other applicable ordinances of the Code of Ordinances as outlined in the Staff Report.

ATTACHMENTS

1. Staff Analysis
2. Location Map
3. Proposed Site Plan
4. Landscape Plan
5. Building Elevation

ATTACHMENT 1

Staff Analysis

Summary of Request

The applicant is proposing to build a 21,723 sf restaurant and entertainment venue. The main building is 12,415 sf, there is a proposed patio area of 7,494 sf and a stage building of 1,814 sf.

Existing Condition of Property

The subject property is undeveloped.

Platting Status

The property is platted as part of Grandscape Addition Ph II.

Adjacent Zoning/Land Use

North - SH 121 and Village at 121 development across SH 121

South - Planned Development 25 (PD 25) – Vacant land

East - Planned Development 25 (PD 25) – Vacant land

West - Planned Development 25 (PD 25) – Vacant land

Land Use Analysis

Restaurant is an allowed use under PD 25.

Infrastructure Improvements

The City is not planning any specific public infrastructure improvements for this area.

Exterior Building Material

Building is comprised of brick, stucco and metal panel. The combination is 21-31% brick, 9-38% stucco, and 5-16% metal awning based on the side of the elevation. PD 25 does not have specific building material requirements.

Circulation and Parking

The parking ratio for restaurants is 1 space per 200 sf of gross floor area. The parking provided meets the specific requirements PD 25 Ordinance.

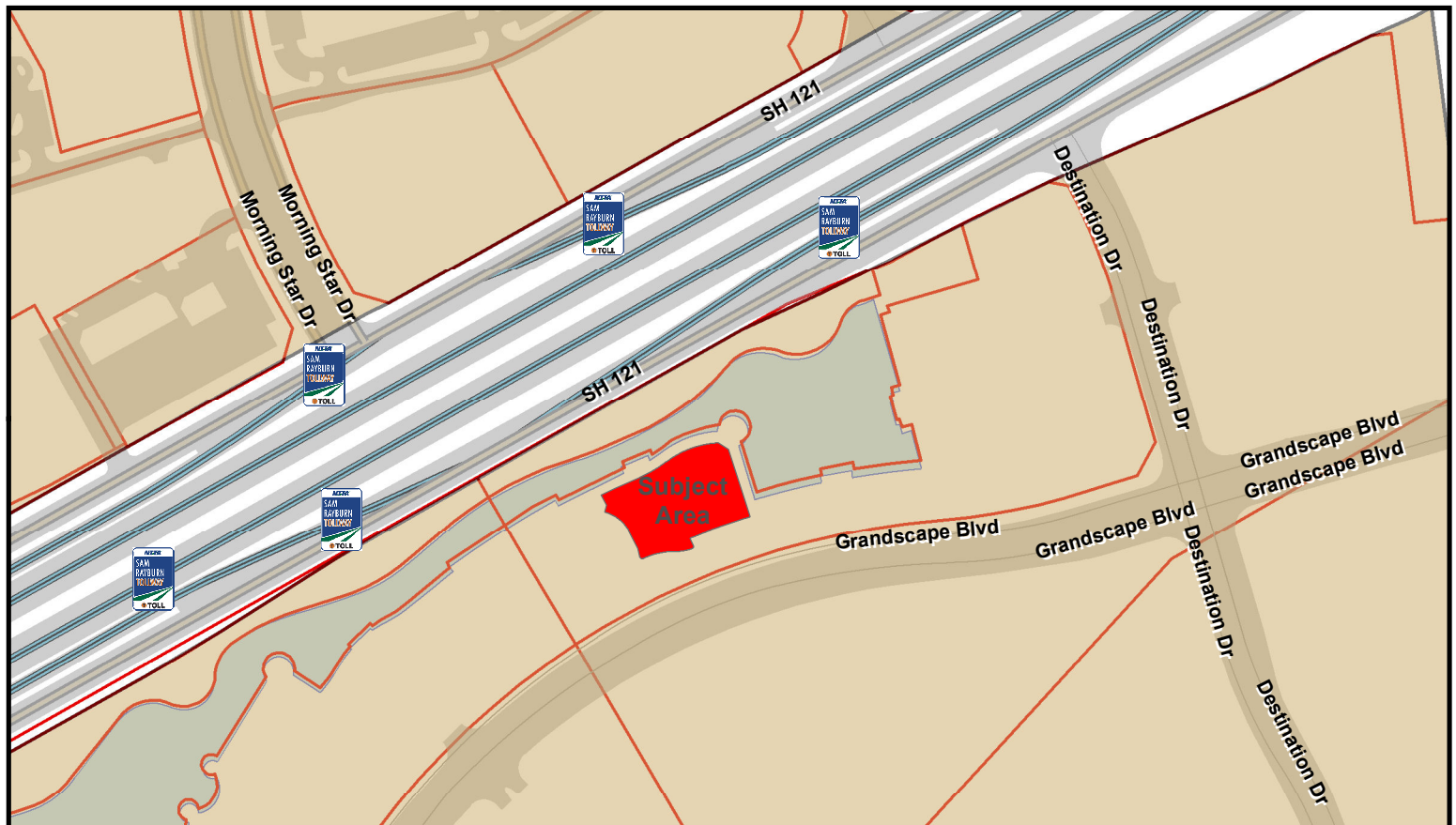
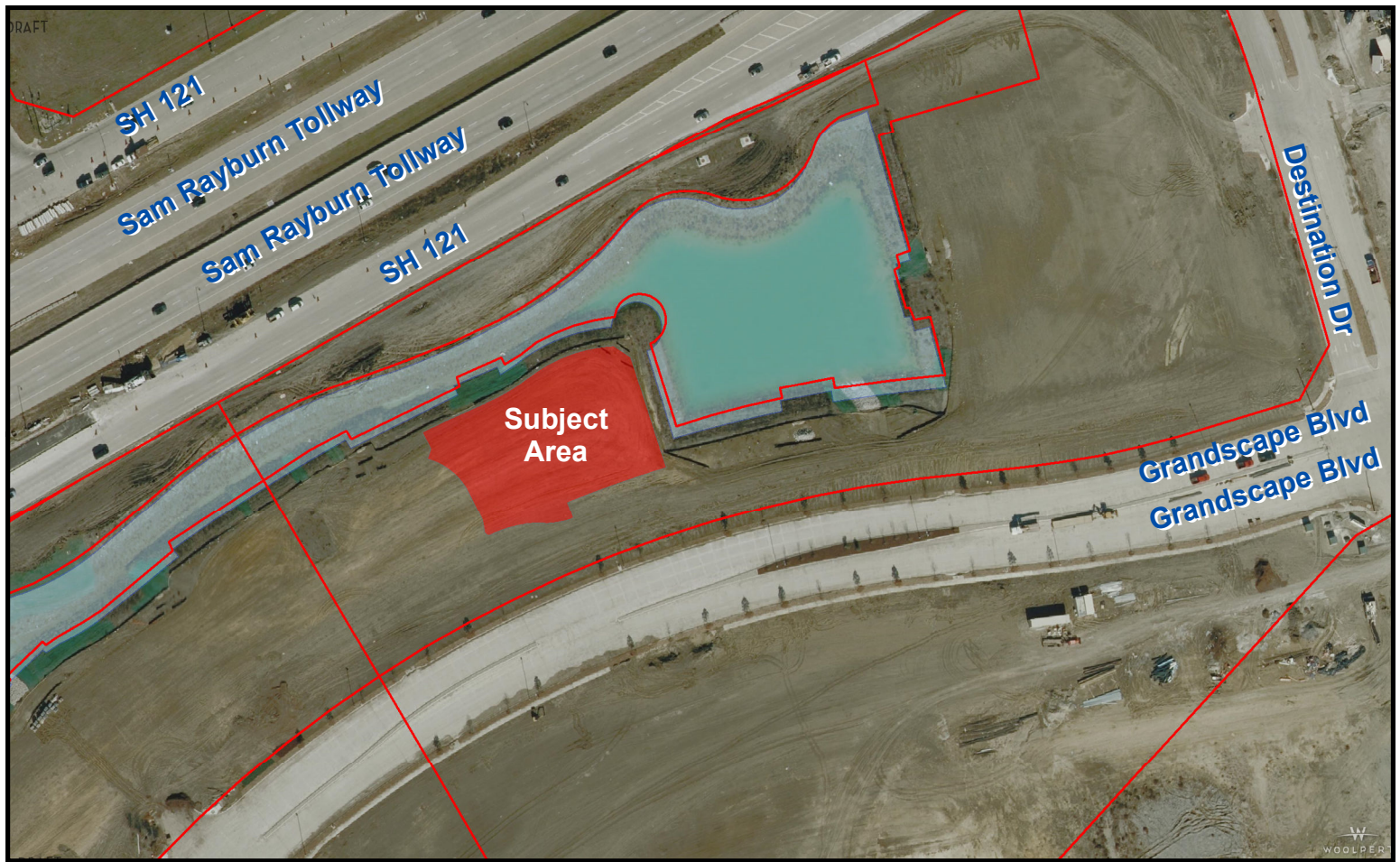
Parking Standard	Parking Required
1 space per 200 sf of gross floor area	109 spaces
Total Parking Provided	109 spaces

Landscaping and Irrigation

Building surrounding are landscaped with Crape Myrtles, shrubs, and flowering plants of different kinds to meet the requirements of the PD 25 and Zoning Ordinance. This site is part of the Grandscape Broadwalk Parking site that has more than 20% of the site proposed for landscaping. Parking lot interior landscaping has been proposed @ ninety (90) sf landscaping per 12 parking spaces.

Development Review Committee Review

The Development Review Committee finds that the Development Plan meets all applicable requirements of the Zoning Ordinance and PD 25 ordinance, therefore recommends approval.



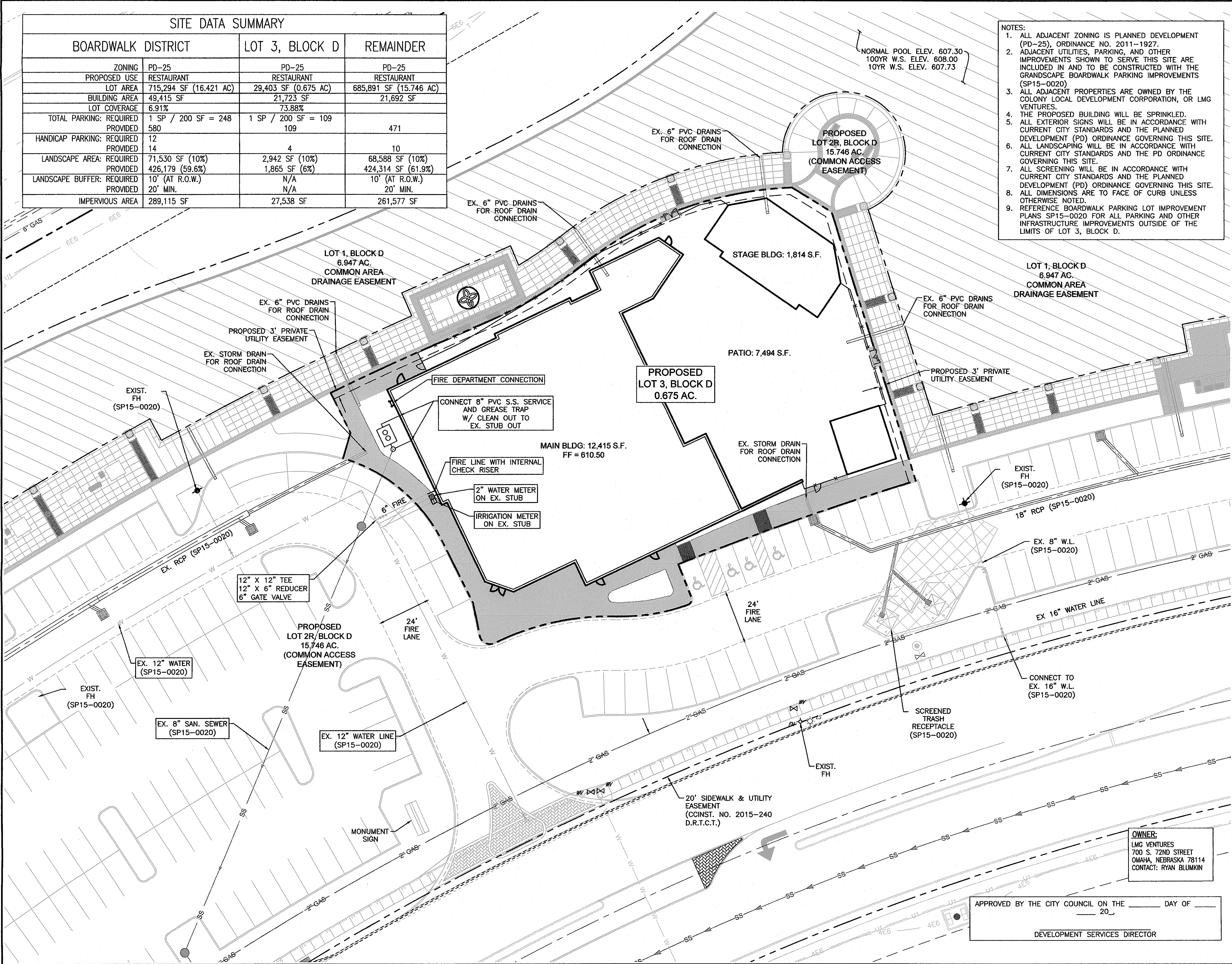
Project No. SP15-0024 - Project Name: Lava Cantina Site Plan

■ Lava Cantina	■ Business Park/Industrial	■ Heavy Commercial	■ Mobile Home	■ Planned Development
■ Agricultural	■ Duplex Dwelling	■ Industrial	■ Neighborhood Service	■ Shopping Center
■ Business Park	■ General Retail	■ Light Commercial	■ Office District 1	■ Single Family Dwelling

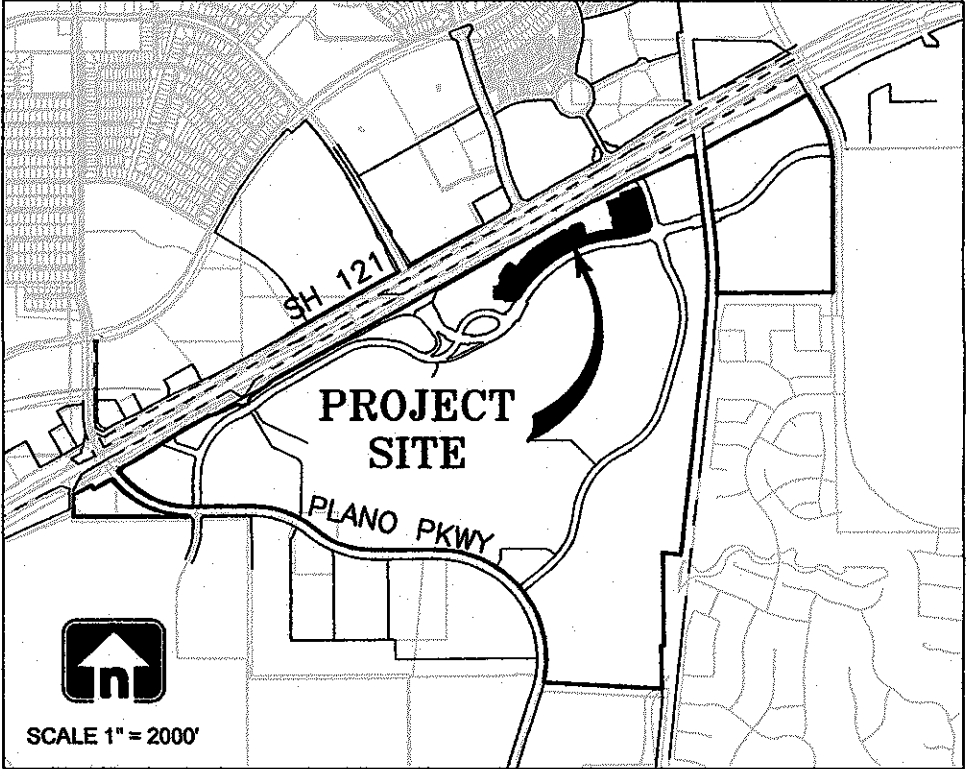
This map was generated by GIS data provided by The Colony GIS Department. The City of The Colony does not guarantee the correctness or accuracy of any features on this map. These digital products are for illustration purposes only and are not suitable for site-specific decision making.



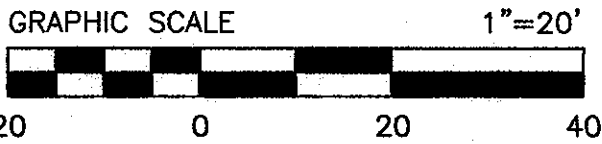
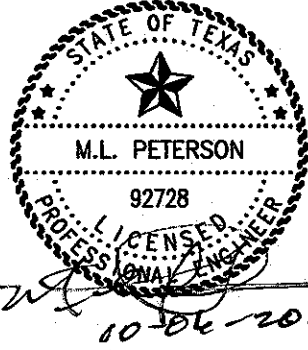
SITE DATA SUMMARY			
BOARDWALK DISTRICT		LOT 3, BLOCK D	REMAINDER
ZONING	PD-25	PD-25	PD-25
PROPOSED USE	RESTAURANT	RESTAURANT	RESTAURANT
LOT AREA	715,294 SF (16.421 AC)	29,403 SF (0.675 AC)	685,891 SF (15.746 AC)
BUILDING AREA	49,415 SF	21,723 SF	21,692 SF
LOT COVERAGE	6.91%	73.88%	
TOTAL PARKING: REQUIRED	1 SP / 200 SF = 248	1 SP / 200 SF = 109	471
PROVIDED	580	109	
HANDICAP PARKING: REQUIRED	12	4	10
PROVIDED	14		
LANDSCAPE AREA: REQUIRED	71,530 SF (10%)	2,942 SF (10%)	68,588 SF (10%)
PROVIDED	426,179 (59.6%)	1,865 SF (6%)	424,314 SF (61.9%)
LANDSCAPE BUFFER: REQUIRED	10' (AT R.O.W.)	N/A	10' (AT R.O.W.)
PROVIDED	20' MIN.	N/A	20' MIN.
IMPERVIOUS AREA	289,115 SF	27,538 SF	261,577 SF



- NOTES:
1. ALL ADJACENT ZONING IS PLANNED DEVELOPMENT (PD-25), ORDINANCE NO. 2011-1927.
 2. ADJACENT UTILITIES, PARKING, AND OTHER IMPROVEMENTS SHOWN TO SERVE THIS SITE ARE INCLUDED IN AND TO BE CONSTRUCTED WITH THE GRANDSCAPE BOARDWALK PARKING IMPROVEMENTS (SP15-0020).
 3. ALL ADJACENT PROPERTIES ARE OWNED BY THE COLONY LOCAL DEVELOPMENT CORPORATION, OR LMG VENTURES.
 4. THE PROPOSED BUILDING WILL BE SPRINKLED.
 5. ALL EXTERIOR SIGNS WILL BE IN ACCORDANCE WITH CURRENT CITY STANDARDS AND THE PLANNED DEVELOPMENT (PD) ORDINANCE GOVERNING THIS SITE.
 6. ALL LANDSCAPING WILL BE IN ACCORDANCE WITH CURRENT CITY STANDARDS AND THE PD ORDINANCE GOVERNING THIS SITE.
 7. ALL SCREENING WILL BE IN ACCORDANCE WITH CURRENT CITY STANDARDS AND THE PLANNED DEVELOPMENT (PD) ORDINANCE GOVERNING THIS SITE.
 8. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 9. REFERENCE BOARDWALK PARKING LOT IMPROVEMENT PLANS SP15-0020 FOR ALL PARKING AND OTHER INFRASTRUCTURE IMPROVEMENTS OUTSIDE OF THE LIMITS OF LOT 3, BLOCK D.



- LEGEND
- BOUNDARY LINE
 - EXISTING EASEMENT
 - PROPOSED EASEMENT
 - PROPOSED SAWCUT
 - FIRE LANE
 - DUMPSTER PAD & APRON



PROJECT NO. SP15-0024

THE COLONY City by the Lake

THE CITY OF THE COLONY
DENTON COUNTY, TEXAS

SITE PLAN / DETAIL UTILITY LAYOUT

LOT 3, BLOCK D
GRANDSCAPE ADDITION



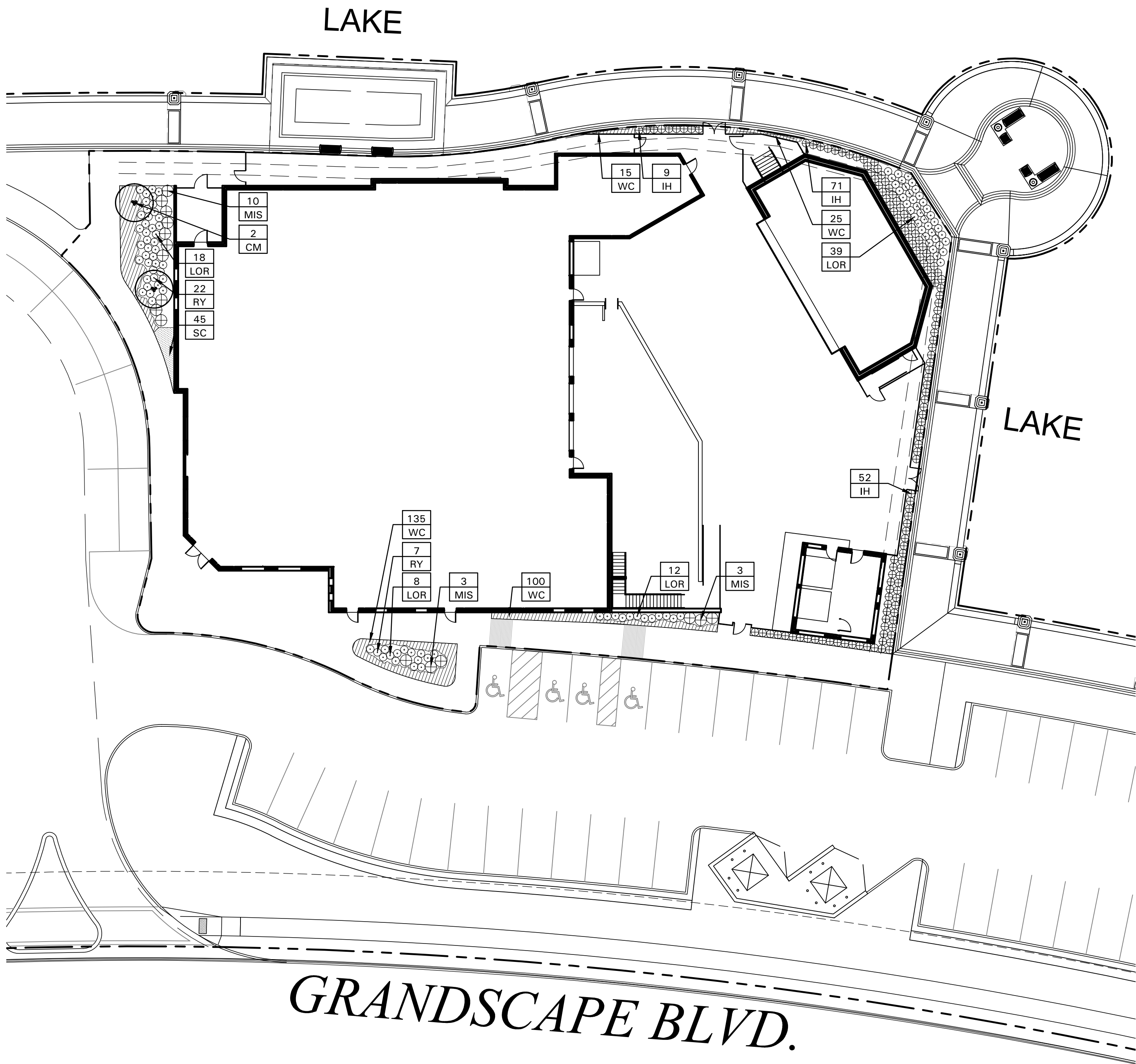
Graham Associates, Inc.
CONSULTING ENGINEERS & PLANNERS
600 SKI FLATS DRIVE, SUITE 500
ARLINGTON, TEXAS 76011 (817) 640-6535
TXPE FIRM: F-151817BPLS FIRM: 01638-00

DRAWN BY: GAI
DATE: 6/30/2015

PROJECT NO. 2588-1042
SHEET 1 OF 1

SHEET
SP.01

PLOTTED ON: 10/6/2015 12:57 PM
 FILE NAME: J:\COLONY\LMG\BOARDWALK DISTRICT\LAVALA CANTINA\CD SITE PLANS\SP.01 SITE PLANNING



LANDSCAPE NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
3. CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
5. TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
6. ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
7. CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

1. THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
2. ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
3. ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
4. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
5. ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
6. CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

LANDSCAPE TABULATIONS
THE COLONY, TEXAS

SITE LANDSCAPE REQUIREMENTS		
1. Minimum of 10% of the area of each platted lot shall be landscape.		
Total Site Area: 29,422 s.f.		
Required 2,942 s.f. (10%)	Provided 1,865 s.f. (6%)	

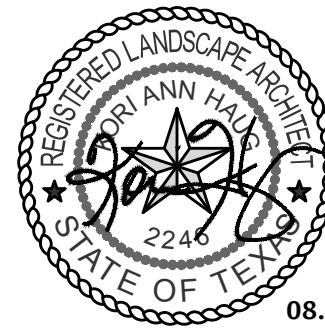
PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
CM	<i>Lagerstroemia indica</i> 'Tuscarora'	Crepe Myrtle 'Tuscarora'	2	30 gal.	container grown, 3-5 trunk, no cross canes, 8' ht., 4' spread, matching
SHRUBS/GROUND COVER					
IH	<i>Raphiolepis indica</i> 'Clara'	Indian Hawthorne 'Clara'	132	5 gal.	container full, 20" spread, 24" o.c.
LOR	<i>Loropetalum chinense</i> 'Purple Diamond'	Loropetalum 'Purple Diamond'	77	5 gal.	container full, 20" spread, 24" o.c.
MIS	<i>Miscanthus sinensis</i> 'Adagio'	Miscanthus 'Adagio'	16	5 gal.	container full, 36" o.c.
RY	<i>Hesperaloe parvifolia</i>	Red Yucca	29	5 gal.	container full, 24" o.c.
SC		Seasonal Color	45	4" pots	container full, 12" o.c., selection by Owner
WC	<i>Euonymus fortunei</i> 'Coloratus'	Wintercreeper	275	4" pots	container (3) 12" runners min., 12" o.c.

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.



4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office



Lava
Cantina
The Colony, Texas

Project Number: 15104
Issue Date: 08.27.2015
Drawn By: APL
Checked By: KAH

Revisions
No: Date: Detail:

Sheet Title:

LANDSCAPE
PLAN

Sheet Number:

L1.01



SCALE: 1" = 20'-0"
0 10 20 40

SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

- A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

- A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting (trees, shrubs and grasses)
- Bed preparation and fertilization
- Notification of sources
- Water and maintenance until final acceptance
- Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) - plant material
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards
- D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel and crushed stone. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.5 JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.

- B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:

- The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
- Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
- A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.

- B. Guarantee:

- Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.

- Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
- At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
- When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.

- The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
- Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.

- C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.

- C. Selection of Plant Material:

- Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and / or exceed project specifications.
- Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.
- Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
- Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions,

do not measure from branch or root tip-to-tip.

- Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.

- Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent defects.

- Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:

- Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.

- Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

- B. Delivery:

- Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.
- Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
- Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
- Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
- Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.
- Remove rejected plant material immediately from job site.
- To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae, and are to be of specimen quality.
- D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as

specified at no additional cost to the Owner.

- Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk diameter requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken root ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball. (Nomenclature conforms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)

- Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:

- Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
- Physical properties as follows:
 - Clay - between 7-27 percent
 - Silt - between 15-25 percent
 - Sand - less than 52 percent
- Organic matter shall be 3%-10% of total dry weight.
- If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.

- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.

- C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.

- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.

- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown, Living Earth Technologies or approved equal.

- F. Organic Fertilizer: Ferti-laid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.

- G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulfur and 4% iron, plus micronutrients.

- H. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: All steel edging shall be 3/16" thick x 4" deep x 16' long with 6 stakes per section, painted black at the factory as manufactured by The J.D. Russell Company and under its trade name DURAEEDGE Heavy Duty Steel.
- B. Staking Material for Shade Trees: refer to details.
- C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.
- D. Filter Fabric: 'Mirafi Mirascape' by Mirafi Construction Products available at Lone Star Products, Inc., (469) 523-0444 or approved equal.
- E. River Rock: 'Colorado' or native river rock, 2" - 4" dia.

- Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.

- B. All planting areas shall be conditioned as follows:

- Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
- All planting areas shall receive a two (2") inch layer of specified mulch.
- Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.

- C. Grass Areas:

- Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.

- B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.

- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.

- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

- F. Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball and six (6") inches deeper than it's vertical dimension. Remove and hoes from site all rocks and stones over three-quarter (¾") inch in diameter. Plants should be thoroughly moist before removing containers.

- G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.

- H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per

tree planting detail as approved by the Landscape Architect if the percolation test fails.

- Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top ½ of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root bound, if so follow standard nursery practice of "root scoring".

- J. Do not wrap trees.

- K. Do not over prune.

- L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.

- M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.

- N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.

- O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.

- P. Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by the National Arborist Association.

- Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.

- Pruning shall be done with clean, sharp tools.

- Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.

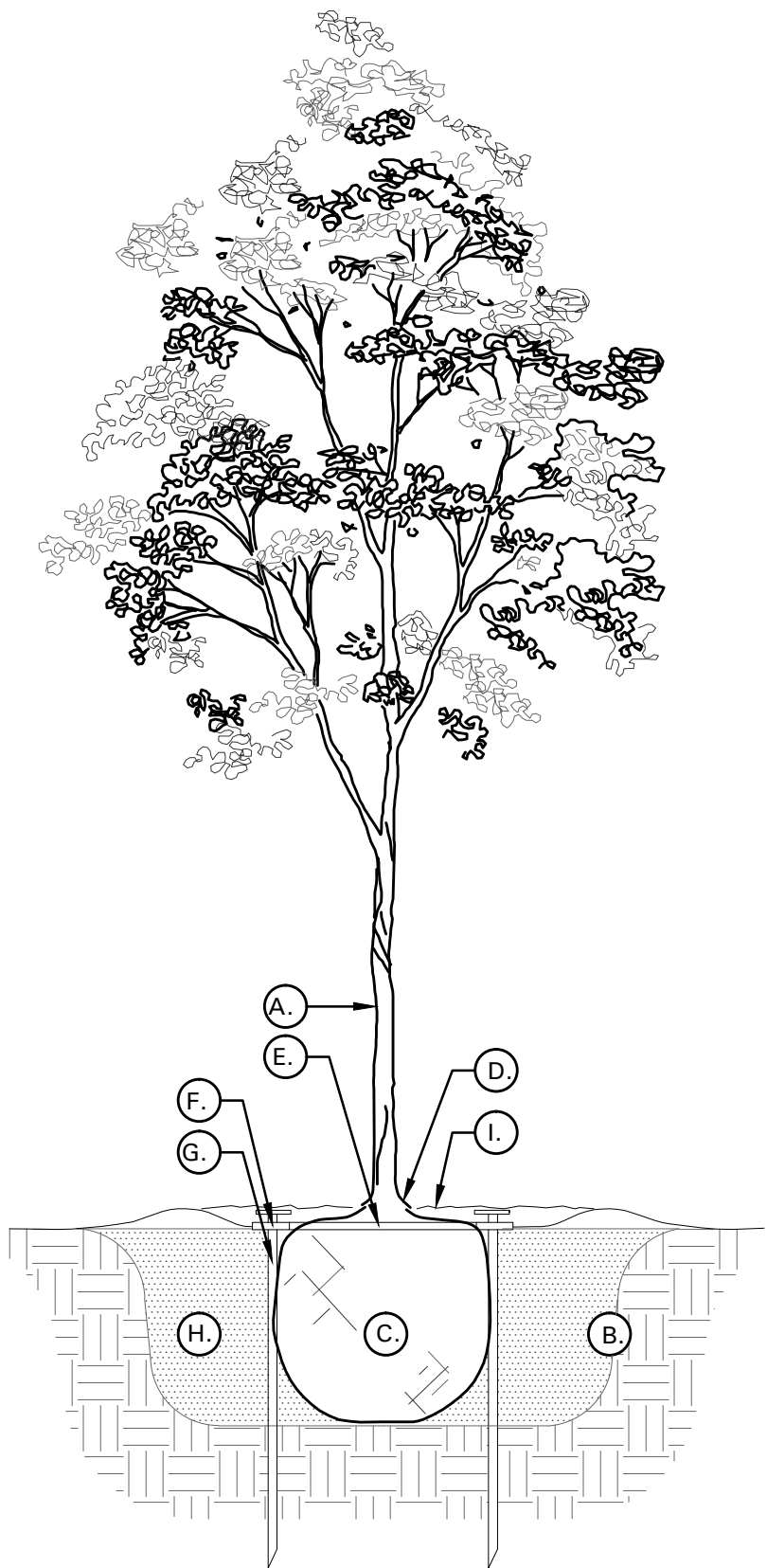
- Q. Steel Curbing Installation:

- Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
- All steel curbing shall be free of kinks and abrupt bends.
- Top of curbing shall be ½" maximum height above final finished grade.
- Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
- Do not install steel edging along sidewalks or curbs.
- Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

3.3 CLEANUP AND ACCEPTANCE

- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

END OF SECTION



TREE PLANTING DETAIL LEGEND AND NOTES

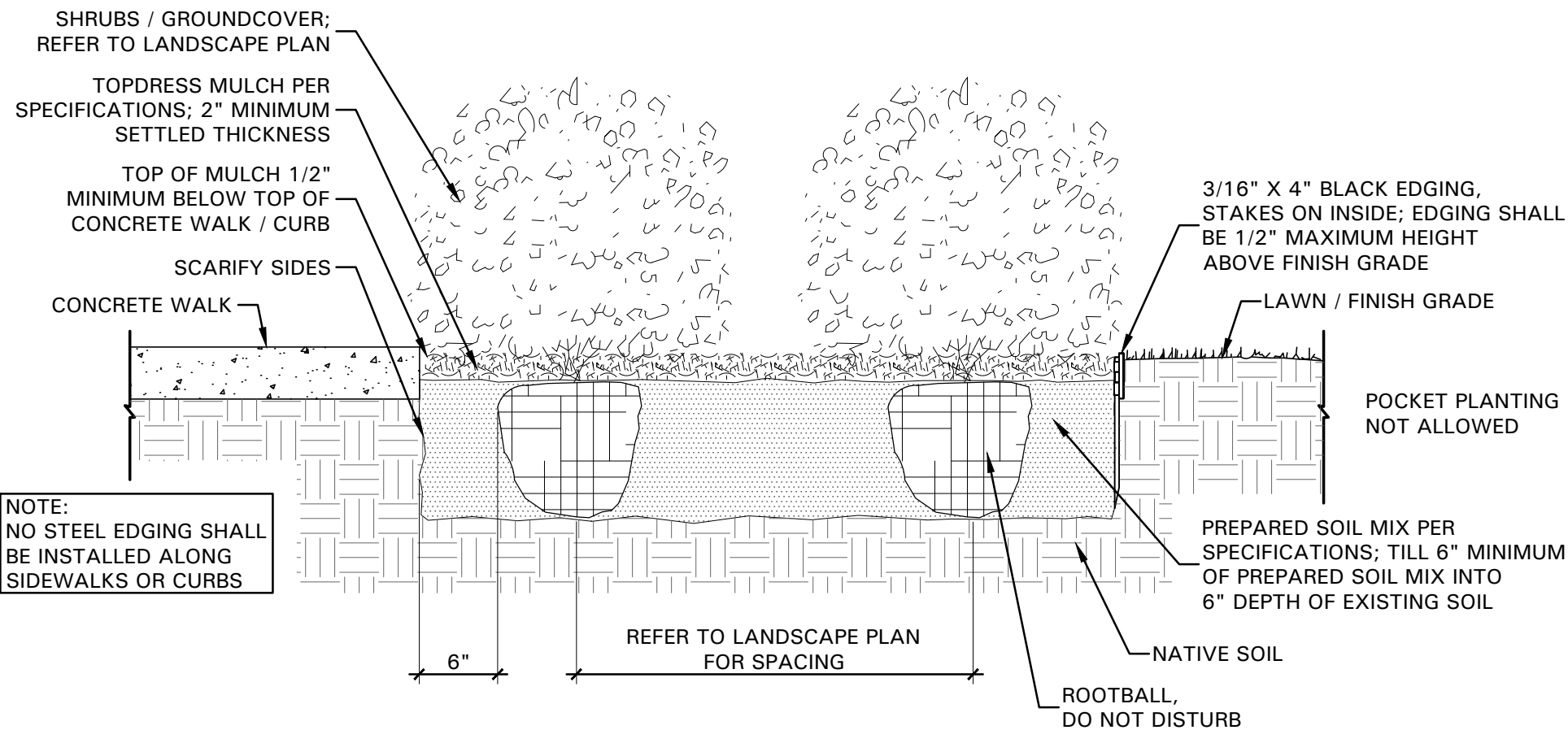
- A. TREE: TREES SHALL CONFORM WITH LATEST AMERICAN STANDARD FOR NURSERY STOCK. www.anla.org
- B. TREE PIT: WIDTH TO BE AT LEAST TWO (2) TIMES THE DIAMETER OF THE ROOT BALL. CENTER TREE IN HOLE & REST ROOT BALL ON UNDISTURBED NATIVE SOIL.
- C. ROOT BALL: REMOVE TOP ½ BURLAP AND ANY OTHER FOREIGN OBJECT; CONTAINER GROWN STOCK TO BE INSPECTED FOR GIRDLING ROOTS.
- D. ROOT FLARE: ENSURE THAT ROOT FLARE IS EXPOSED, FREE FROM MULCH, AND AT LEAST TWO INCHES ABOVE GRADE. TREES SHALL BE REJECTED WHEN GIRDLING ROOTS ARE PRESENT & ROOT FLARE IS NOT APPARENT.
- E. ROOTBALL ANCHOR RING: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. PLACE ROOTBALL ANCHOR RING ON BASE OF ROOTBALL, TRUNK SHOULD BE IN THE CENTER OF THE RING.
- F. "U" BRACKET.
- G. NAIL STAKE: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. INSTALL NAIL STAKES WITH HAMMER OR Mallet FIRMLY INTO UNDISTURBED GROUND. DRIVE NAIL STAKES FLUSH WITH "U" BRACKET ADJACENT TO ROOTBALL (DO NOT DISTURB ROOTBALL).

- H. BACKFILL: USE EXISTING NATIVE SOIL (no amendments) WATER THOROUGHLY TO ELIMINATE AIR POCKETS.

- I. MULCH: DOUBLE SHREDDED HARDWOOD MULCH 2" INCH SETTLED THICKNESS, WITH 2" HT. WATERING RING; ENSURE THAT ROOT FLARE IS EXPOSED. BELOW GROUND STAKE SHOULD NOT BE VISIBLE.

- J. TREE STAKES: TREE STAKE SOLUTIONS 'SAFETY STAKE' BELOW GROUND MODEL AVAILABLE FROM: Tree Stake Solutions ATTN: Jeff Tuley (903) 676-6143 jeff@treestakesolutions.com www.treestakesolutions.com

- K. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION OF TREE STAKES. CONTRACTOR SHALL ADHERE TO MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND OTHER REQUIREMENTS FOR TREE STAKE INSTALLATION.



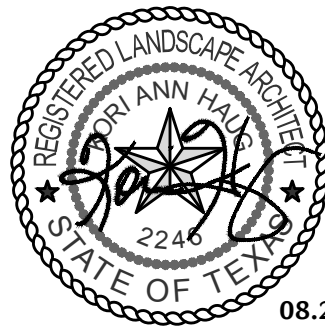
02 SHRUB / GROUND COVER DETAIL NOT TO SCALE



01 TREE PLANTING DETAIL NOT TO SCALE



4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office



Lava
Cantina
The Colony, Texas

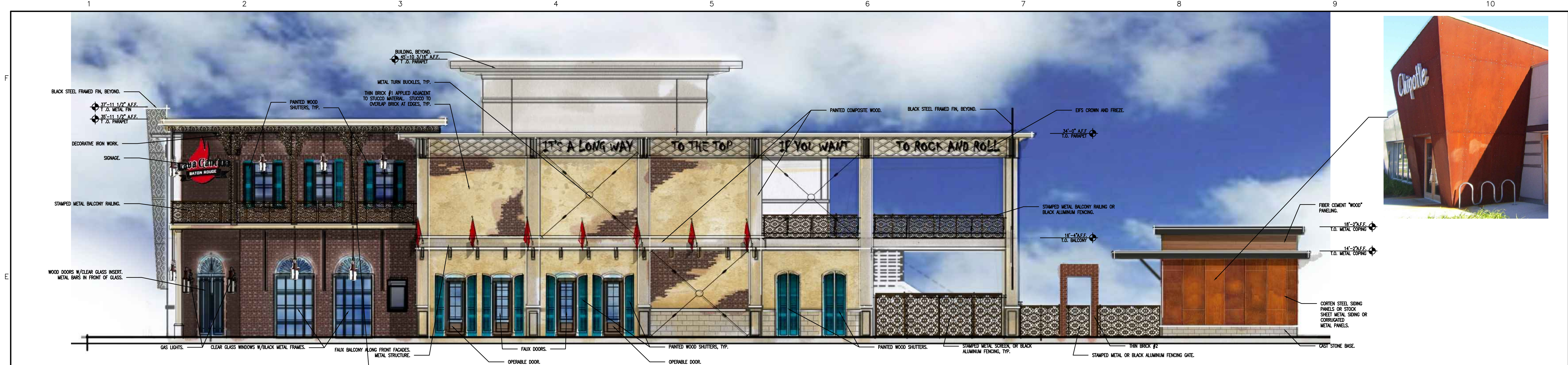
Project Number: 15104
Issue Date: 08.27.2015
Drawn By: APL
Checked By: KAH

Revisions:
No: Date: Detail:

Sheet Title:
LANDSCAPE
SPECIFICATIONS
AND DETAILS

Sheet Number:

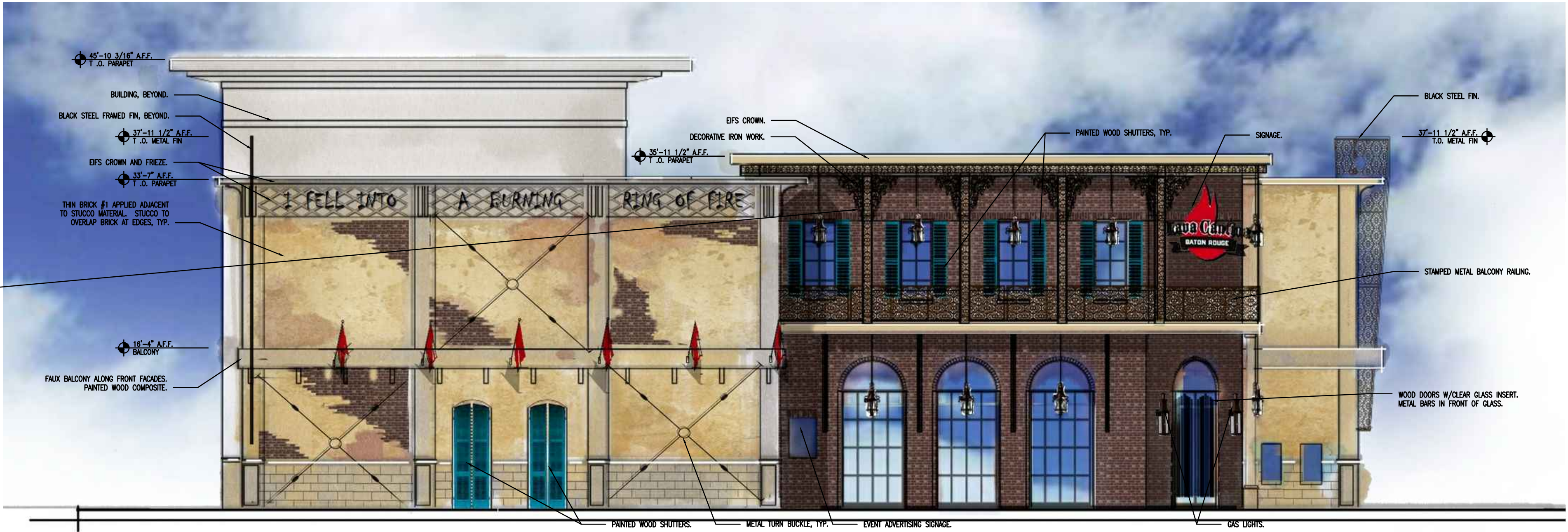
L1.02



01 EXTERIOR ELEVATION-SOUTH
1/8" = 1'-0"

SOUTH ELEVATION MATERIALS

21% OF FACADE = BRICK
24% OF FACADE = STUCCO
5% OF FACADE = METAL PANEL
50% OF FACADE = OTHER (RAILINGS, GLAZING, EIFS, PAINTED WOOD)



02 EXTERIOR ELEVATION-WEST
1/8" = 1'-0"

WEST ELEVATION MATERIALS

31% OF FACADE = BRICK
36% OF FACADE = STUCCO
31% OF FACADE = OTHER (RAILINGS, GLAZING, EIFS, PAINTED WOOD)

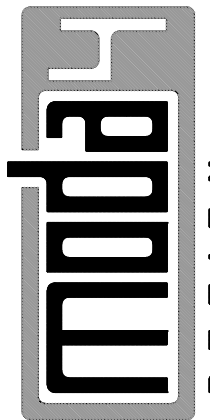
Shell Core Building for
LAVA CANTINA
Nebraska Furniture Mart - Boardwalk District
The Colony, TX

ISSUED	REVISED	DATE
30	PROGRESS SET	08.11.15
THE COLONY SITE PLAN SUBMITTAL		08.19.15
60	PROGRESS SET	09.11.15

NOT FOR CONSTRUCTION

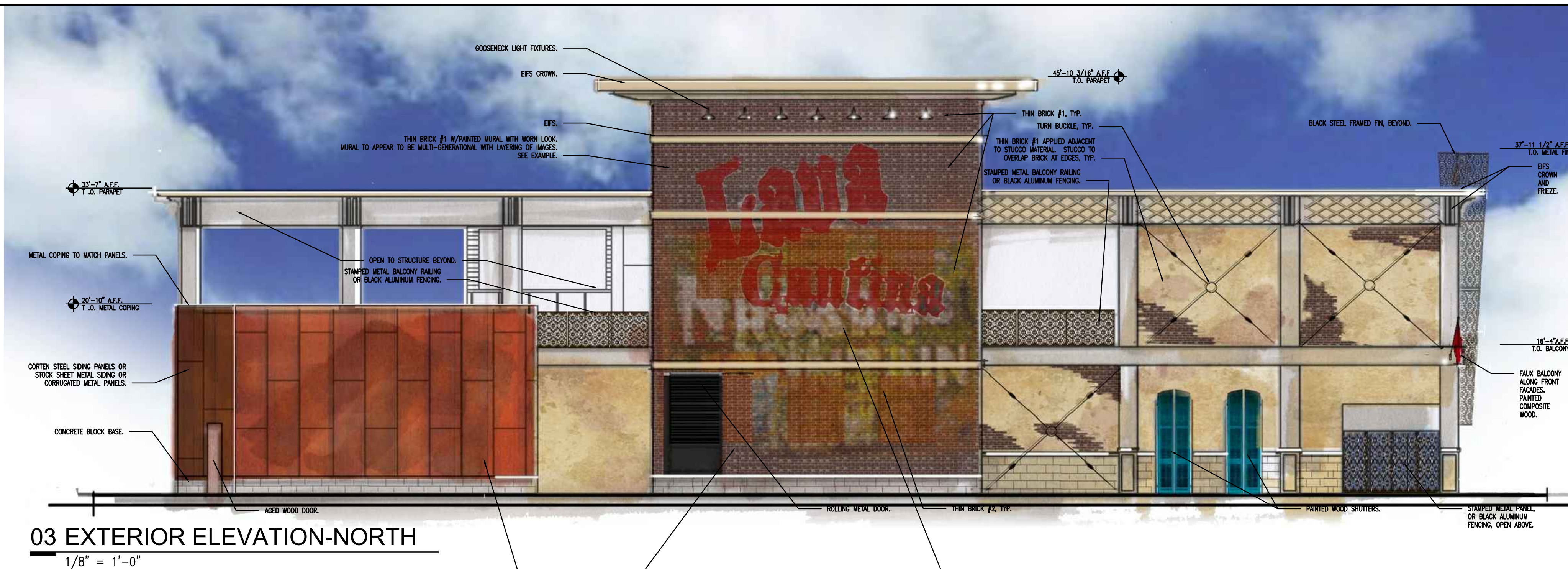
Exterior
Elevations

A201



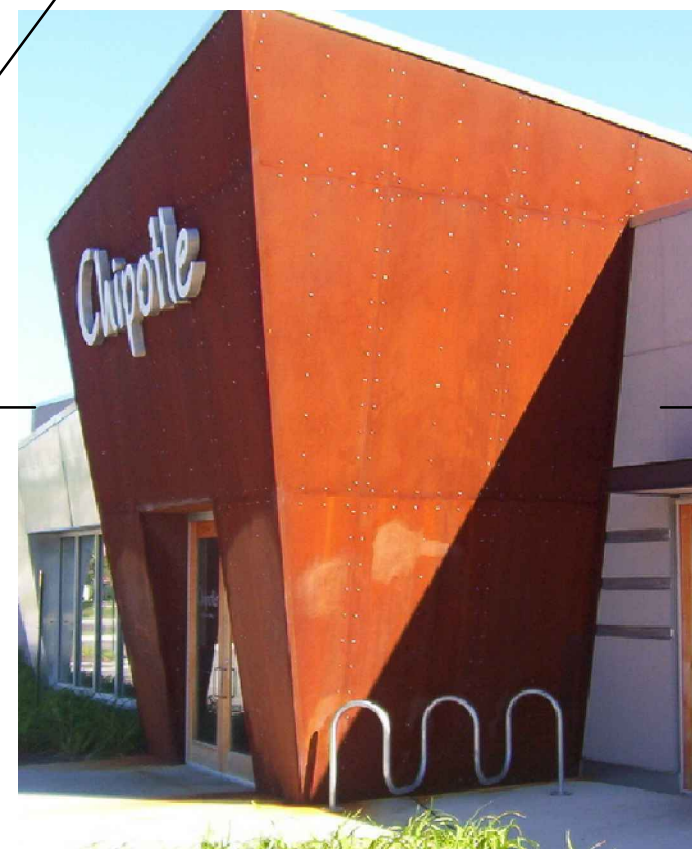
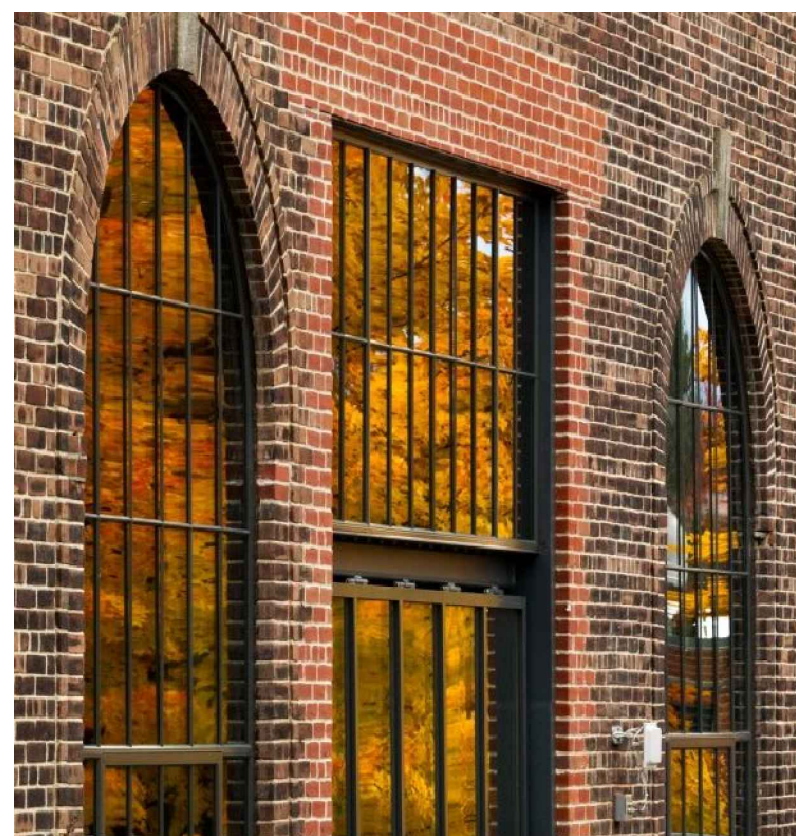
NORTH ELEVATION MATERIALS

30% OF FACADE = BRICK
23% OF FACADE = STUCCO
16% OF FACADE = METAL PANEL
31% OF FACADE = OTHER (RAILINGS, GLAZING, EIFS, PAINTED WOOD)



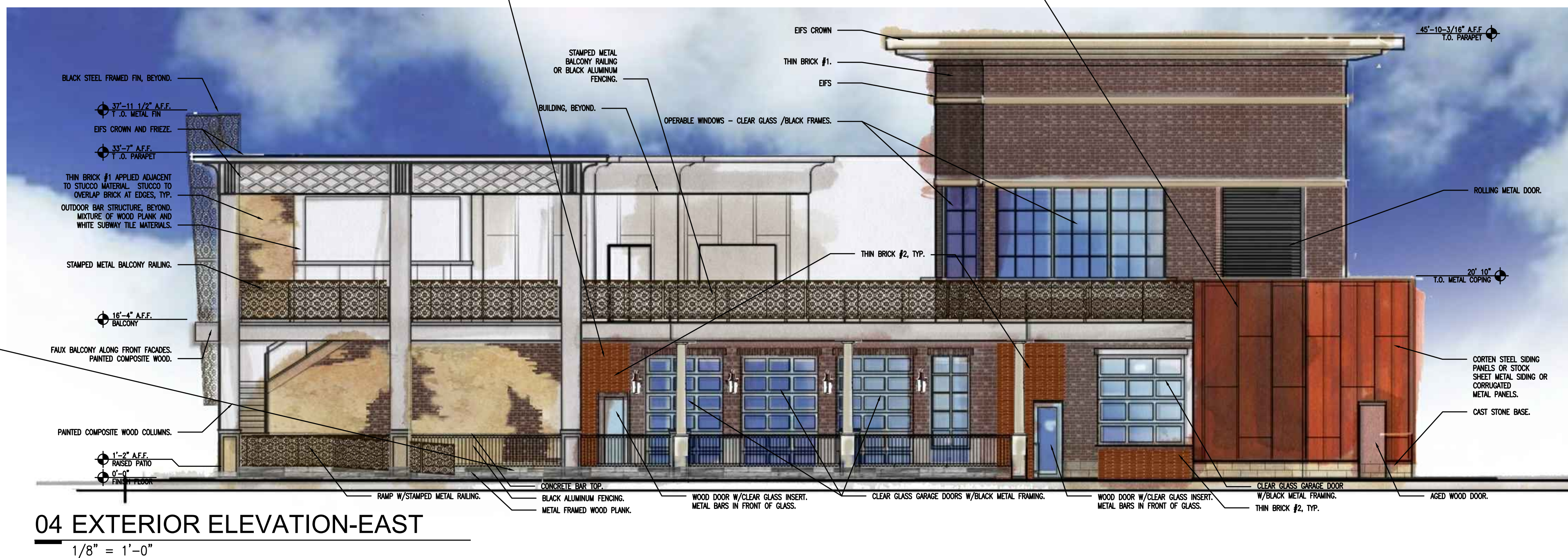
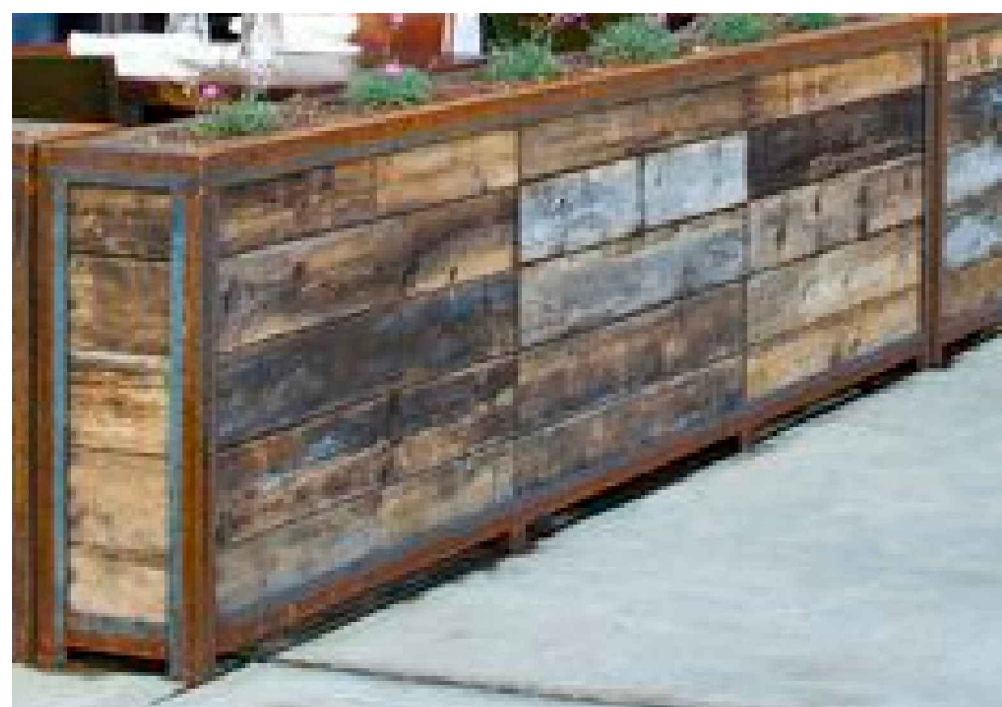
03 EXTERIOR ELEVATION-NORTH

1/8" = 1'-0"



EAST ELEVATION MATERIALS

26% OF FACADE = BRICK
9% OF FACADE = STUCCO
11% OF FACADE = METAL PANEL
54% OF FACADE = OTHER (RAILINGS, GLAZING, EIFS, PAINTED WOOD)



04 EXTERIOR ELEVATION-EAST

1/8" = 1'-0"

PLANNING AND ZONING COMMISSION REPORT

AGENDA DATE: October 27, 2015

DEPARTMENT: Engineering/Development Services Department

PLANNER: Surupa Sen, AICP, Senior Planner, 972-624-3164

SUBJECT *SP15-0025 Advance Auto Parts Site Plan*

Discuss and consider making a recommendation to City Council on a request for Site Plan for Advance Auto Parts, an automobile parts and accessory sales shop, located at 4901 Main Street, in General Retail (GR) zoning district.

OWNER/ENGINEER

Owner/Developer:	Hartzog Holdings LLC	Elgin, South Carolina
Engineer/Surveyor:	Graham & Associates	Arlington, Texas

EXISTING CONDITION OF PROPERTY

The property is currently undeveloped.

PROPOSED DEVELOPMENT

The applicant is proposing to build a 6,889 square foot auto parts store, Advance Auto Parts, on approximately 1.35 acres, located on Main Street north of existing Angelina's Mexican Restaurant.

ADJACENT ZONING AND LAND USE

North - Shopping Center (SC) – Dry Cleaners
South - General Retail (GR) – Angelina's Mexican Restaurant
East- Main Street
West- General Retail (GR) – Vacant

DEVELOPMENT REVIEW COMMITTEE (DRC) REVIEW

The Development Review Committee (DRC) finds the Site Plan meets the requirements of the Appendix A, Zoning Ordinance, the Gateway Overlay District and other applicable ordinances of the Code of Ordinances as outlined in the Staff Report.

ATTACHMENTS

1. Staff Analysis
2. Location Map
3. Proposed Site Plan
4. Proposed Landscape Plan
5. Building Elevation

ATTACHMENT 1

Staff Analysis

Summary of Request

The applicant is proposing to build a 6,889 square foot auto parts store, Advance Auto Parts, on approximately 1.35 acres, located on Main Street north of existing Angelina's Mexican Restaurant.

Existing Condition of Property

The subject property is undeveloped.

Platting Status

The Replat for the property was approved by Planning and Zoning Commission on October 13, 2015.

Adjacent Zoning/Land Use

North - Shopping Center (SC) – Dry Cleaners

South - General Retail (GR) – Angelina's Mexican Restaurant

East- Main Street

West- General Retail (GR) – Vacant

Land Use Analysis

Auto Parts and Accessory Sales (inside only) is an allowed use within GR zoning district.

Gateway Overlay District Amenities

Section 10A-1000, Public Amenities and Standards requires for commercial developments greater than one (1) acre but less than five (5) acres in size incorporate one (1) public amenity. The one amenity can be chosen from the following list, as found in Section 10A-100 (a)(3) of the Gateway Overlay District:

- (A) Patio or Plaza with seating area;
- (B) Landscaped mini-parks, squares or greens;
- (C) Water feature; or
- (D) Outdoor public art.

The applicant has chosen to provide a bench on Main Street facing the proposed sidewalk to meet this requirement.

Exterior Building Material

The building is comprised of 100% brick with 20% glazing in the front façade and 15.7% metal sign on front and south elevations to comply with Gateway Overlay District requirements.

Infrastructure Improvements

The City is not planning any specific public infrastructure improvements other than the infrastructure improvements made by the developer to serve the facility.

Circulation and Parking

The proposed facility will have direct access off of the Main Street through a driveway. Mutual access easements have been provided to the vacant property west of the subject property.

The Zoning Ordinance's parking ratio for automobile parts sales is 5.4 spaces per 1000 sf of GFA. The parking provided meets the specific requirements of Section 13, Vehicular Parking, Parking Lot, and On-Site Traffic Regulations of Zoning Ordinance.

Parking Standard	Parking Required	Parking Provided
Parking calculation for Advance Auto Parts: 5.4 spaces per 1000 sf of GFA	38 spaces (2 ADA)	40 spaces (2 ADA)

Landscaping and Irrigation

The applicant is proposing landscaping made up of a combination of Cedar Elm, Live Oak, Texas Ash and Dessert Willow, Texas Redbud to meet the requirements of the Gateway Overlay and Zoning Ordinance. More than twenty percent (20%) of the site has been proposed for landscaping. One canopy tree and 21 ornamental trees have been proposed for street frontage buffer. 10' landscaped perimeter buffer has also been proposed comprising of total 9 canopy trees, 16 ornamental trees and 178 screening shrubs. Parking lot interior has been proposed for landscaping @ of 90 sf for each 12 spaces within street yard and 60 sf for each 12 spaced for non-street yard parking.

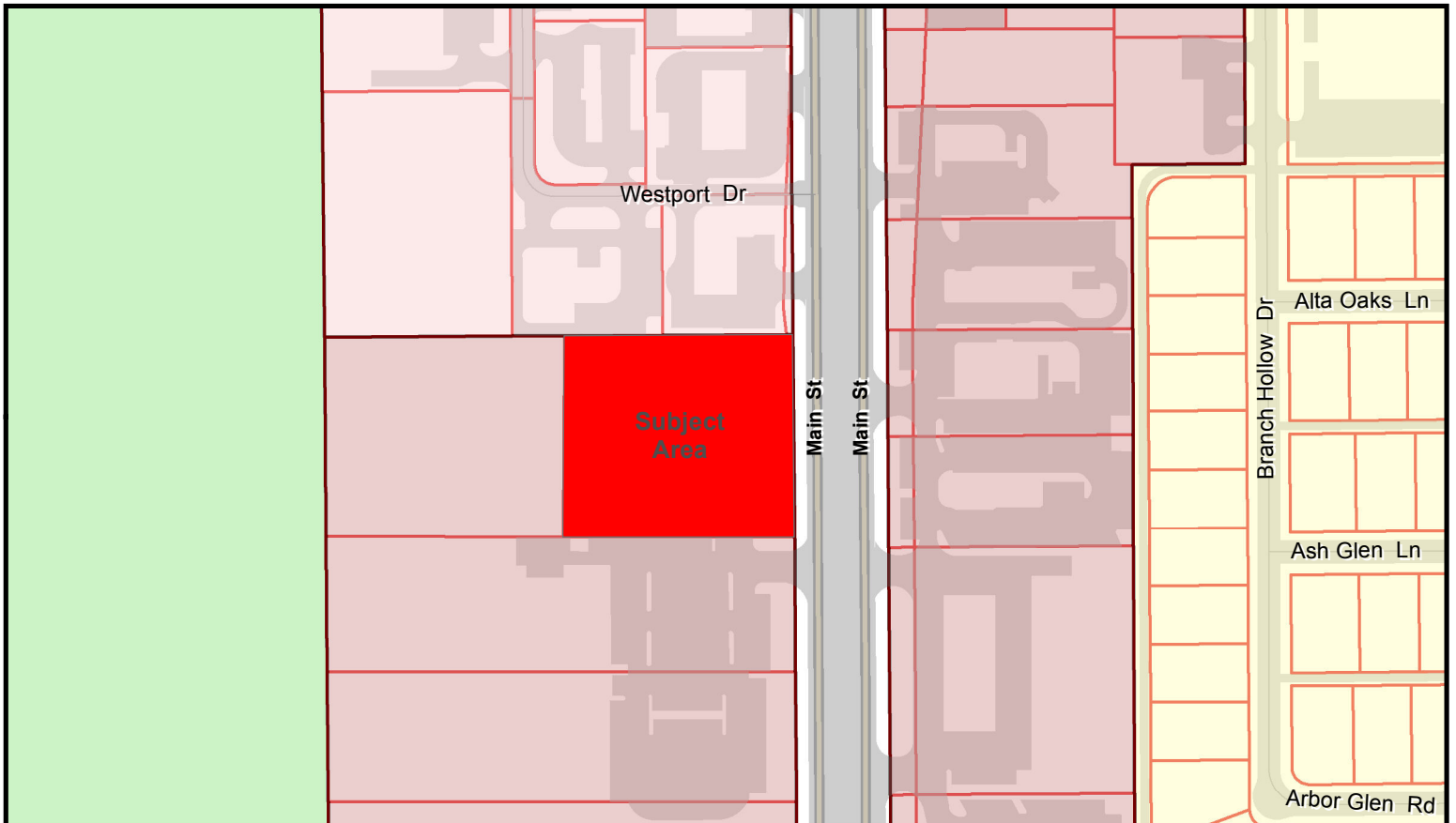
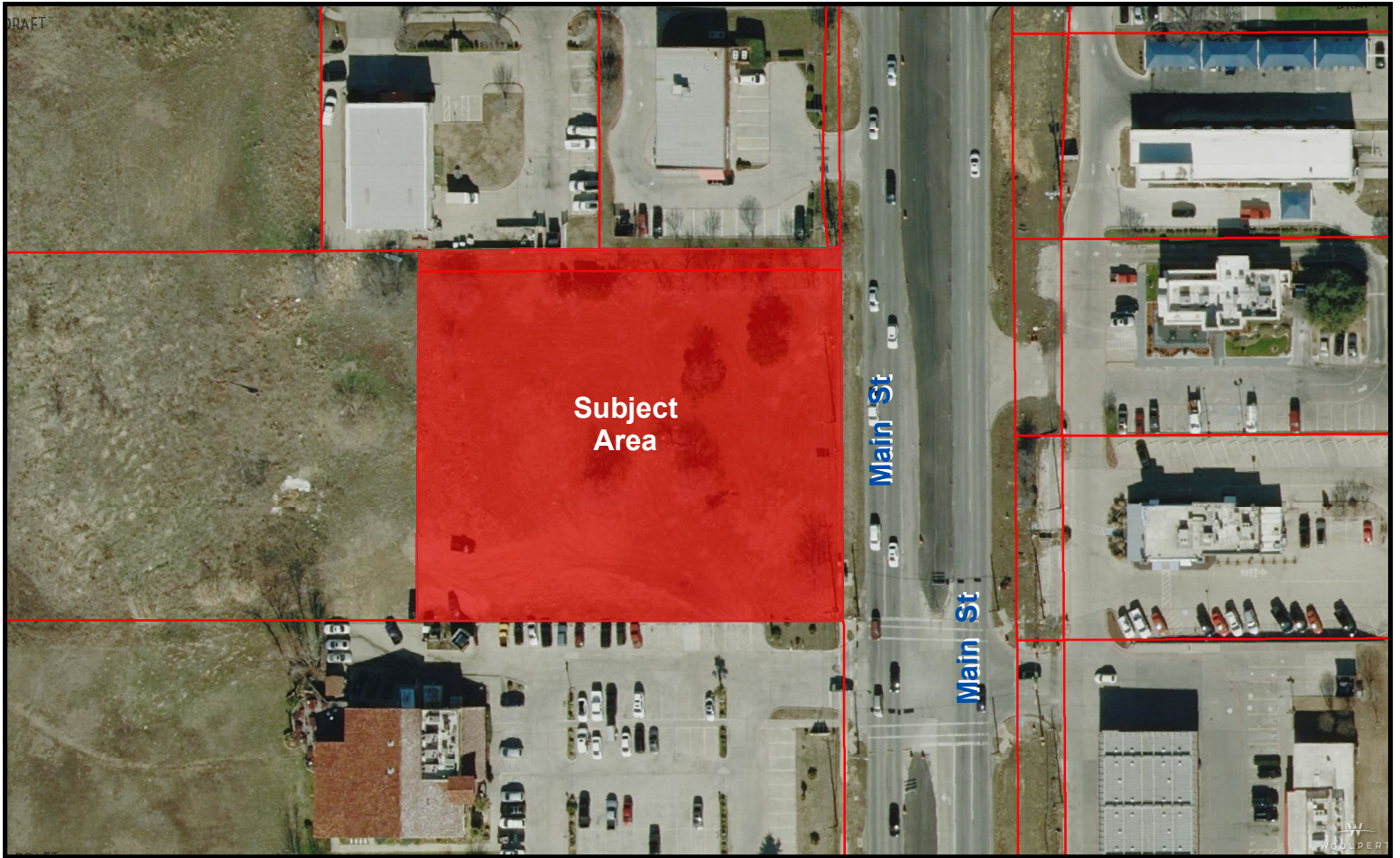
Gateway Landscaping Amenities Requirements

A development between one and three acres in the Gateway Overlay District must provide additional landscaping amenities to meet the requirement of fifteen (15) Landscape Points. The applicant has provided the following landscaping amenities to meet this requirement:

Landscape Amenity	Points Earned
Bench on Main Street	5 points
Enhanced landscaping surrounding monument sign	5 points
No curb of eastern drive to allow storm water runoff to flow into pond	5 points
Total Points	15 points

Development Review Committee Review

The Development Review Committee finds that the Site Plan meets all applicable requirements of the Zoning Ordinance and Gateway Overlay District, therefore recommends approval.

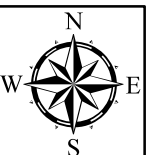


Project No. SP15-0025 - Project Name: Advance Auto Parts Site Plan



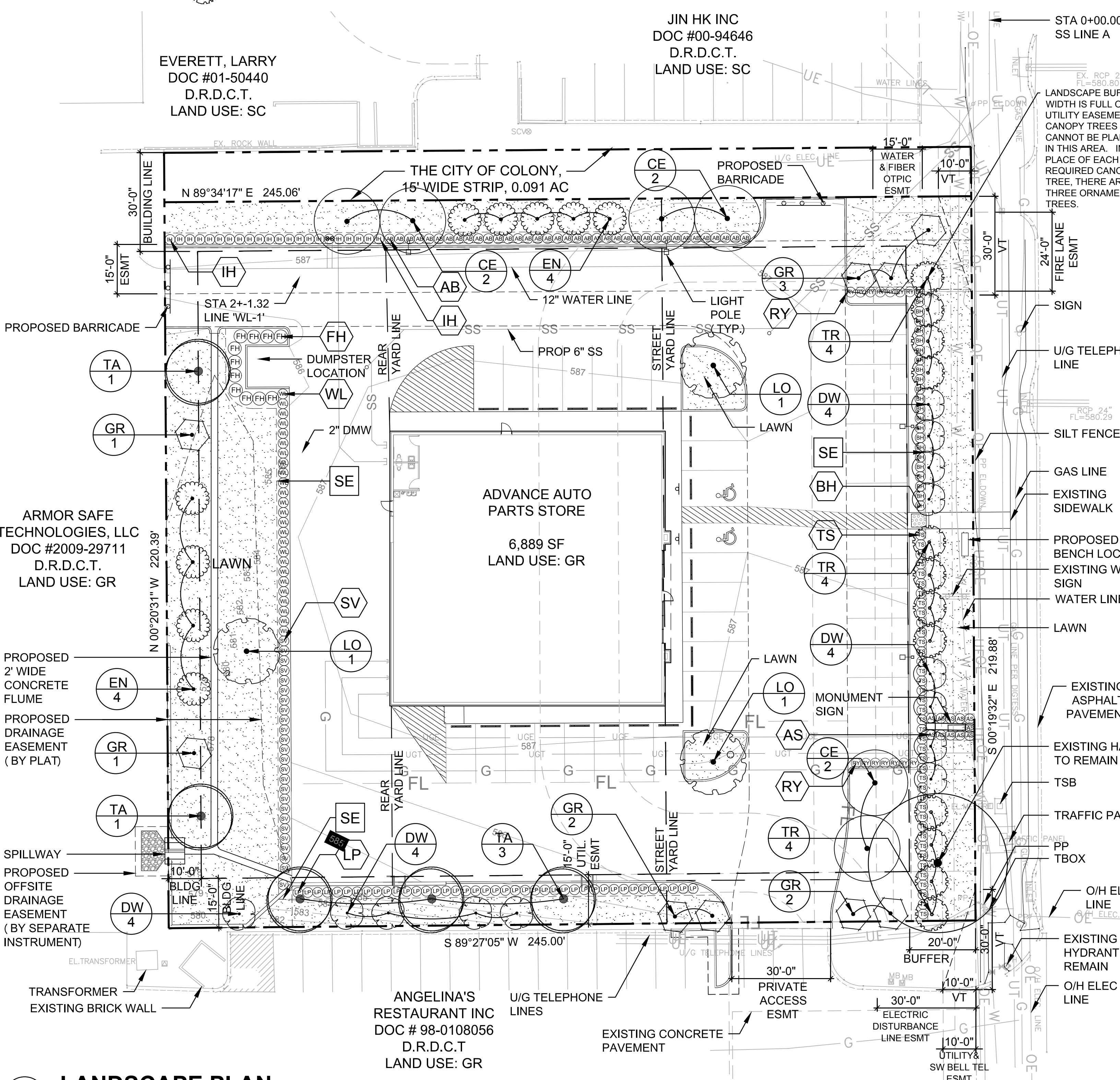
■ Advance Auto Parts	■ Business Park/Industrial	■ Heavy Commercial	■ Mobile Home	■ Planned Development
■ Agricultural	■ Duplex Dwelling	■ Industrial	■ Neighborhood Service	■ Shopping Center
■ Business Park	■ General Retail	■ Light Commercial	■ Office District 1	■ Single Family Dwelling

This map was generated by GIS data provided by The Colony GIS Department. The City of The Colony does not guarantee the correctness or accuracy of any features on this map. These digital products are for illustration purposes only and are not suitable for site-specific decision making.



LEGEND

CANOPY TREE	ORNAMENTAL TREE	SHRUBS	PERENNIALS	LAWN	PROPERTY LINE
CEDAR ELM (CE)	DESERT WILLOW (DW)	ROSE CREEK' ABELIA (AB)	RED YUCCA (RY)		
LIVE OAK (LO)	EVE'S NECKLACE (EN)	DWARF BURFORD HOLLY (BH)	SWEET VIBURNUM (SV)		
TEXAS ASH (TA)	GOLDEN RAIN TREE (GR)	FOSTER'S HOLLY (FH)	TEXAS SAGE 'GREEN CLOUD' (TS)		
	TEXAS REDBUD (TR)	INDIAN HAWTHORN (IH)	WAX LEAF LIGUSTRUM (WL)		
		PLUM DELIGHT' LOROPETALUM (LP)	AUTUMN SAGE (AS)		



1 LANDSCAPE PLAN

NOTES:
FOR LANDSCAPE DETAILS LANDSCAPE NOTES, SEE SHEET L-3.

PLANT LIST

SYM	COMMON NAME	BOTANICAL NAME	QTY	%	SIZE	HEIGHT	SPREAD	ROOT BALL	REMARKS
CANOPY TREES									
CE	CEDAR ELM	ULMUS CRASSIFOLIA	6	11%	3" CAL.	10'-12'	8'-10'	B & B	SINGLE TRUNK, FULL AND MATCHED
LO	LIVE OAK	QUERCUS VIRGINIANA	3	5%	3" CAL.	10'-12'	8'-10'	B & B	SINGLE TRUNK, FULL AND MATCHED
TA	TEXAS ASH	FRAXINUS TEXENSIS	5	9%	3" CAL.	10'-12'	8'-10'	B & B	SINGLE TRUNK, FULL AND MATCHED
ORNAMENTAL TREES									
DW	DESERT WILLOW	CHILOPSIS LINEARIS	13	23%	4" CAL.	10'-12'	8'-10'	B & B	MULTI-TRUNK, 4 CANS MAXIMUM
EN	EVE'S NECKLACE	SOPHORA AFFINIS	9	16%	4" CAL.	10'-12'	8'-10'	B & B	SINGLE TRUNK, FULL AND MATCHED
GR	GOLDEN RAIN TREE	KOELREUTERIA PANICULATA	9	16%	4" CAL.	10'-12'	8'-10'	B & B	SINGLE TRUNK, FULL AND MATCHED
TR	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	12	21%	4" CAL.	10'-12'	8'-10'	B & B	SINGLE TRUNK, FULL AND MATCHED
SHRUBS									
AB	ROSE CREEK' ABELIA	ABELIA X GRANDIFLORA 'ROSE CREEK'	37		N/A	24"	24"	5 GAL	FULL & MATCHED, 36" O.C. TRIA SPACED
BH	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	23		N/A	24"	24"	5 GAL	FULL & MATCHED, 36" O.C. TRIA SPACED
FH	FOSTER'S HOLLY	ILEX x ATTENUATA 'FOSTER'	11		N/A	24"	24"	5 GAL	FULL & MATCHED, 48" O.C. TRIA SPACED
IH	INDIAN HAWTHORN	RAPHIOLEPSIS INDICA	22		N/A	24"	24"	5 GAL	FULL & MATCHED, 36" O.C. TRIA SPACED
LP	PLUM DELIGHT' LOROPETALUM	LOROPETALUM CHINENSE 'PLUM DELIGHT'	41		N/A	24"	24"	5 GAL	FULL & MATCHED, 36" O.C. TRIA SPACED
RY	RED YUCCA	HESPERALOE PARVIFLORA	14		N/A	24"	24"	5 GAL	FULL & MATCHED, 36" O.C. TRIA SPACED
SV	SWEET VIBURNUM	VIBURNUM LENTAGO	21		N/A	24"	24"	5 GAL	FULL & MATCHED, 36" O.C. TRIA SPACED
TS	TEXAS SAGE 'GREEN CLOUD'	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD'	40		N/A	24"	24"	5 GAL	FULL & MATCHED, 36" O.C. TRIA SPACED
WL	WAX LEAF LIGUSTRUM	LIGUSTRUM JAPONICUM 'TEXANUM'	25		N/A	24"	24"	5 GAL	FULL & MATCHED, 36" O.C. TRIA SPACED
PERENNIALS									
AS	AUTUMN SAGE	SALVIA GREGGII	11		N/A	24"	24"	5 GAL	FULL & MATCHED, 36" O.C. TRIA SPACED
LAWN									
LAWN	BERMUDA GRASS	CYNODON SPP.	12,797 SF						SOLID SOD
MISCELLANEOUS									
MULCH	SHREDDED HARDWOOD MULCH								2 INCH DEPTH PLACE OVER FILTER FABRIC 3/16" THICK X 6" ONLY 1/2" EXPOSED ABOVE SOIL LINE
SE	STEEL EDGING								

** FOR SHRUBS MINIMUM CONTAINER SIZE IS USED UNDER ROOT BALL. HOWEVER PLANTS PLANTED SHALL MEET THE MINIMUM HEIGHT AS CALLED OUT IN THE PLANT LIST, WHICH COULD RESULT IN REQUIRING A LARGER CONTAINER SIZE TO MEET THE HEIGHT REQUIREMENT. THIS MAY REQUIRED A CONTAINER SIZE LARGER THAN THE ONES USED UNDER ROOT BALL.

LANDSCAPE REQUIREMENTS TABULATION

LANDSCAPE AREA	STREET YARD AREA SF	REQUIRED LANDSCAPE AREA SF	PROVIDED LANDSCAPE AREA SF
FRONT STREET YARD	20,663	4,133	6,834
TREES IN STREET YARD			
10 TREES PLUS 1 TREE PER 2,500 SQ FT OR STREET YARD OVER 10,000 SQ FT			
FRONT STREET YARD	20,663	15	9 X 3 = 27
TREES IN STREET FRONTAGE BUFFER			
20 FEET LANDSCAPE BUFFER SHALL BE PROVIDED ADJACENT TO R.O.W. OF FM 423 MAIN STREET			
CANOPY TREES 1 PER 40 LF	220	214	5
ORNAMENTAL TREES 2 PER 50 LF	220	214	9
TOTAL TREES		14	22
EVERGREEN SHRUBS (MIN. 24" HEIGHT)(i) 3 PER 10 LF	220	214	64
TREES IN PERIMETER BUFFERS			
10 FEET LANDSCAPE BUFFER SHALL BE PROVIDED			
NORTH SIDE	CANOPY TREES 2 PER 5 ORNAMENTAL TREES 1 PER 40 LF SCREENING SHRUBS 36" OFF CENTER	182 182 196	2 5 65
REAR SIDE	CANOPY TREES 2 PER 5 ORNAMENTAL TREES 1 PER 40 LF SCREENING SHRUBS 36" OFF CENTER	195 195 169	2 5 65
SOUTH SIDE	CANOPY TREES 2 PER 5 ORNAMENTAL TREES 1 PER 40 LF SCREENING SHRUBS 36" OFF CENTER	214 214 137	2 5 48
TOTAL	CANOPY TREES 6 ORNAMENTAL TREES 15 SCREENING SHRUBS 167		9 16 178
PARKING LOT TREES: ALL PARKING SPACES ARE LESS THAN 75 FEET FROM A TREE OR A PERMEABLE LANDSCAPED ISLAND, PENINSULA OR MEDIAN			
PARKING LOT ISLAND			
	PARKING SPACES QUANTITY	ISLAND QUANTITY REQUIRED	ISLAND AREA REQUIRED
IN STREET YARD	90 SQ FT FOR EACH 12 SPACES	3	270
NON-STREET YARD	60 SQ FT FOR EACH 12 SPACES	2	120
INTERIOR LANDSCAPING			
MIN. 10% OF THE GROSS VEHICULAR USE AREA SHALL BE DEVOTED TO LIVING LANDSCAPE	GROSS VEHICULAR USE AREA SF	REQUIRED INTERIOR LANDSCAPING AREA SF	PROPOSED INTERIOR LANDSCAPING AREA SF
STREET YARD	13,107	1311	6,834
NORTH SIDE	4,652	465	1,147
SOUTH SIDE	4,441	444	1,045
REAR SIDE	6,785	678	7,931
TOTAL	28,985	2,898	16,957
ACCESS DRIVE LANDSCAPING			
1 ORNAMENTAL TREE IS REQUIRED ALONG MAJOR ACCESS LANES PER 40 LF	ACCESS LANE LF	REQUIRED ORNAMENTAL TREE QUANTITY	PROPOSED ORNAMENTAL TREE QUANTITY
SOUTH ENTRANCE	13	1	4

NOTES:
(i) 3 ORNAMENTAL TREES MAY SUBSTITUTE FOR 1 LARGE CANOPY TREES
(ii) LARGE CANOPY TREES SHALL BE PLANTED A MINIMUM OF 4 FEET FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND/OR OTHER STRUCTURES. ORNAMENTAL TREES MAY BE PLACED CLOSER THAN 4 FEET, WITH SPECIFIC APPROVAL BY THE CITY MANAGER OR HIS DESIGNEE.
(iii) NO MORE THAN 25% OF THE NUMBER OF REQUIRED TREES SHALL BE OF THE SAME SPECIES FOR ANY TREE CATEGORY.
(iv) SHRUBS USED FOR PARKING LOT SCREENING SHALL BE AT LEAST 18 INCHES IN HEIGHT AT THE TIME OF PLANTING, SHALL ATTAIN A MATURE HEIGHT OF APPROXIMATELY 3 TO 4 FEET AND SHALL FORM A CONTINUOUS HEDGE. LARGE, CANOPY TREES SHALL HAVE A SINGLE TRUNK AND SHALL BE A MINIMUM OF 8 FEET IN HEIGHT AND 3 CALIPER INCHES WHEN MEASURED 12 INCHES ABOVE GROUND AT THE TIME OF PLANTING, ORNAMENTAL TREES MAY HAVE A SINGLE OR MULTIPLE TRUNKS AND SHALL BE A MINIMUM OF 6 FEET IN HEIGHT AND 4 CALIPER INCHES WHEN MEASURED 12 INCHES ABOVE GROUND AT THE TIME OF PLANTING.

BERKENBILE LANDSCAPE ARCHITECTS

DALLAS OFFICE
703 McKinney, Suite 401
Dallas, TX 75202
(214) 922-8948 Office
(214) 922-9887 Fax

SOUTHPLAKE OFFICE
1535 Johnson Rd
Southlake, TX 76082
(817) 378-9853 Office
(214) 922-9887 Fax

Carrillo Engineering, LLC

201 Main Street, Ste 1230 - Fort Worth, Texas 76102
Phone 817-896-0976 - Firm Registration #F-15893

REGISTERED LANDSCAPE ARCHITECT
STATE OF TEXAS
9-28-2015

PROPOSED ADVANCE AUTO PARTS STORE
SOUTH COLONY RACETRAC ADDITION
BLOCK A, LOT 1
CITY OF THE COLONY, TX 75056

LANDSCAPE PLAN

Issue Dates:
SEPTEMBER 28, 2015

Date	
Revisions	

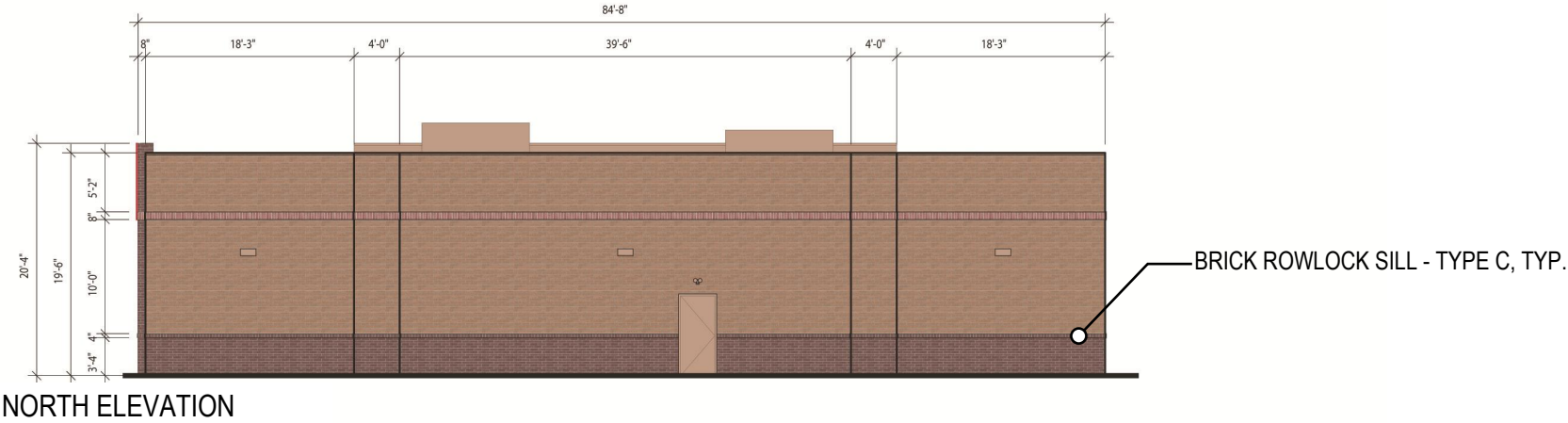
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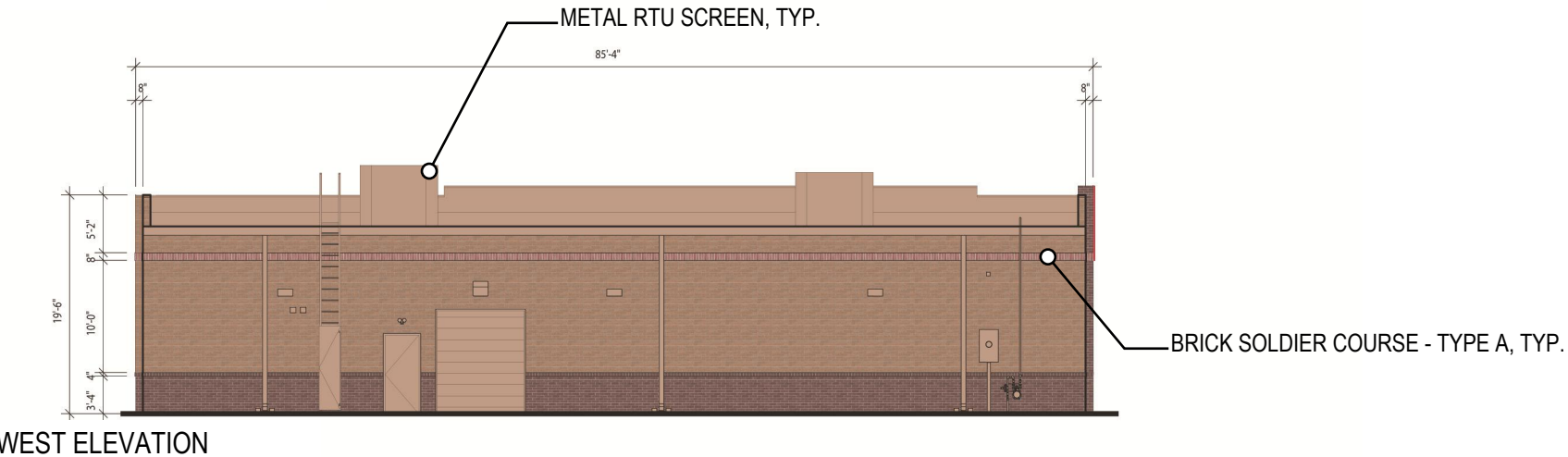
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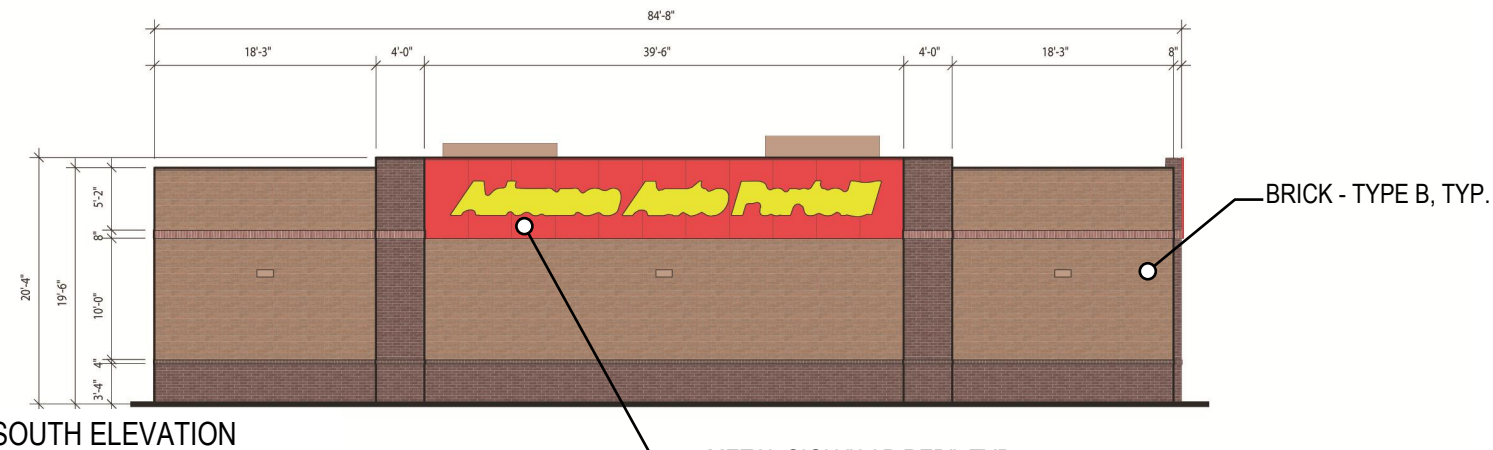
BRICK = 100%



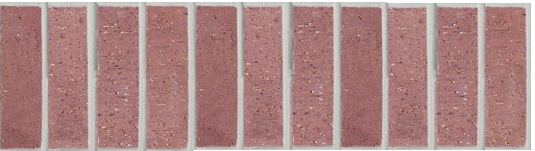
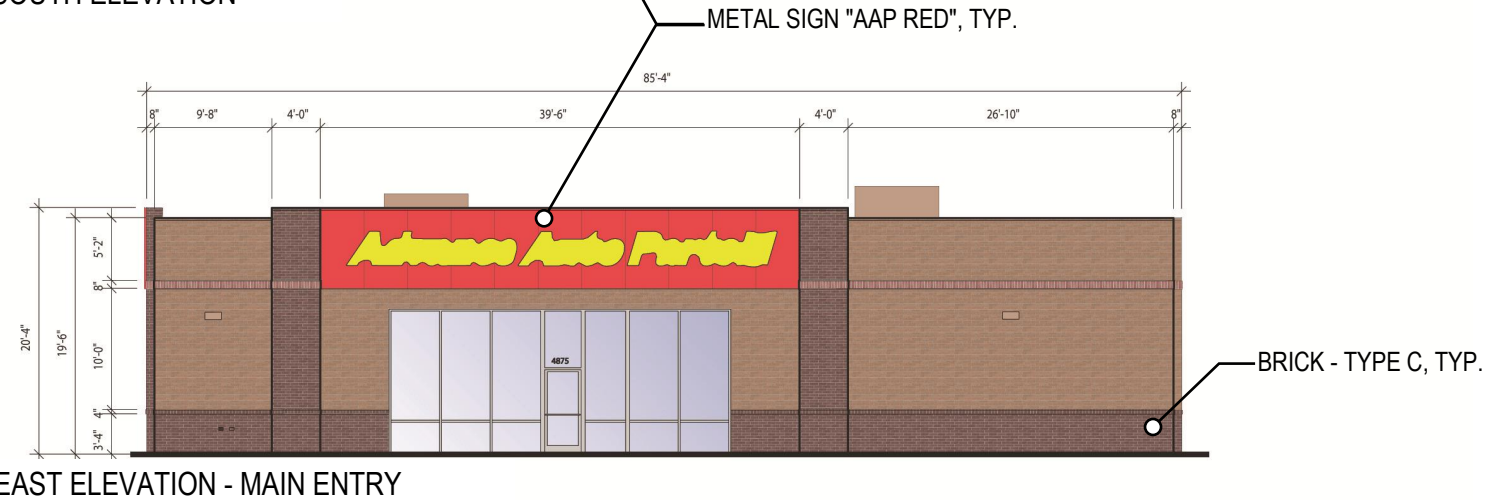
BRICK = 100%



BRICK = 84.6%
METAL SIGN = 15.4%



BRICK = 64.2%
GLAZING = 20.1%
METAL SIGN = 15.7%



TYPE A - ACME BRICK "VILLAGE"



TYPE B - ACME BRICK "CINNAMON"



TYPE C - ACME BRICK "BROOKSHIRE"

SCALE: N.T.S.